

BASIS OF BEARINGS

N32°44'36"W ALONG THE CENTERLINE OF NEWPORT WAY NW, PER REF. 1.

REFERENCES

1. VILLAGE GREEN, A CONDOMINIUM, AMENDED, RECORDED UNDER RECORDING NUMBER 20000915000087, RECORDS OF KING COUNTY, WASHINGTON.

LEGAL DESCRIPTION

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M., IN KING COUNTY, WASHINGTON; DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 525 FEET NORTH AND 880 FEET WEST OF THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE NORTH 125 FEET; THENCE WEST 136.5 FEET TO THE EAST LINE OF ISSAQUAH-NEWPORT ROAD; THENCE SOUTHEASTERLY ALONG SAID ROAD TO A POINT 50 FEET WEST OF THE BEGINNING; THENCE EAST TO THE POINT OF BEGINNING; EXCEPT THE SOUTH 28 FEET THEREOF;

ALSO, THE NORTH 101.2 FEET OF THE WEST 15 FEET OF THE FOLLOWING DESCRIBE TRACT:

THAT PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M., IN KING COUNTY, WASHINGTON; DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE INTERSECTION OF THE EASTERLY MARGIN OF STATE SUNSET HIGHWAY (NEWPORT - ISSAQUAH ROAD) 154 FEET NORTHERLY OF THE SOUTHERLY LINE OF THE NORTH HALF OF THE SOUTH HALF OF SAID SECTION; THENCE NORTHWESTERLY ALONG THE EAST LINE OF SAID HIGHWAY 88 FEET MORE OR LESS TO THE SOUTH LINE OF THAT PROPERTY CONVEYED TO JACK M. GEOFFREY AND MARY G. GEOFFREY BY DEED RECORDED UNDER KING COUNTY NUMBER 800000016; THENCE EAST ALONG THE SOUTH LINE OF SAID LAND CONVEYED TO GEOFFREY 50 FEET TO THE SOUTHEASTERLY CORNER THEREOF;

THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID GEOFFREY TRACT, AND THE NORTHERLY EXTENSION THEREOF 145 FEET, MORE OR LESS, TO THE NORTH LINE OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 28;

THENCE EASTERLY ALONG SAID NORTH LINE OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 28, 311.5 FEET MORE OR LESS TO A POINT 668.5 FEET WEST OF THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 28;

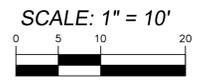
THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID EAST 668.5 FEET, 132 FEET;

THENCE SOUTHWESTERLY TO THE TRUE POINT OF BEGINNING.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

NOTES

- THIS SURVEY HAS BEEN COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT. LEGAL DESCRIPTION IS PER THE KING COUNTY ASSESSOR. NO EASEMENTS OR OTHER ENCUMBRANCES WHICH WOULD TYPICALLY SHOW WITHIN SCHEDULE B OF A REPORT HAVE BEEN PLOTTED. THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON JUNE 17, 2015. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN JUNE, 2015.
- PROPERTY AREA = 12,112± SQUARE FEET (0.2780± ACRES).
- ALL DISTANCES ARE IN FEET.
- THIS IS A FIELD TRAVERSE SURVEY. A SOKKIA FIVE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.



LEGEND

- VBF VERTICAL BOARD FENCE
- SRF SPLIT RAIL FENCE
- HWF HOG WIRE FENCE
- P POWER
- OHP OVERHEAD POWER

NO.	REVISIONS	DATE

14711 NE 29th Place, #101
Bellevue, Washington 98007
425-885-7817 Fax 425-885-7963

ENGINEERING • PLANNING • SURVEYING

TOPOGRAPHIC SURVEY
540 NEWPORT
WINDSOR CONSTRUCTION CO.
14711 NE 29TH PL, SUITE 202
BELLEVUE, WA 98007

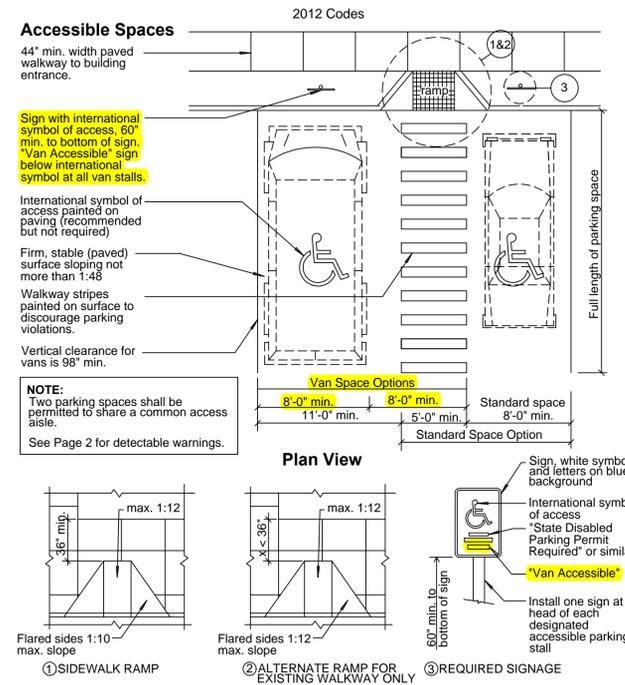
DATE: JUNE 18, 2015	DESIGNED	RDW
	DRAWN	RDW
	APPROVED	
		ROBERT D. WEST PROJECT MANAGER
SHEET	1	OF 1
PROJECT NUMBER	15074	

PARKING ANALYSIS
PER ISSAQUAH MUNICIPAL CODE 18.09

Total Office Gross S.F. per Section 18.09.040-B	
Main Floor:	1,675.5 s.f.
Upper Floor:	1,044.0 s.f.
Total office s.f.:	2,719.5 s.f.

Per Section 18.09.040-A.3
One space required per 300 s.f. for offices
2,719.5 s.f./300 = 9.1 or **9 stalls required**

Total parking required:	9 stalls
Total parking provided:	7 standard stalls 1 compact stalls 1 van accessible stall 9 stalls provided



SITE PLAN



SCALE: 1" = 10'

SHEET INDEX

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A-3	DEMOLITION PLAN	M-1	MAIN LEVEL MECHANICAL PLAN / SCHEDULES & NOTES
A-4	MAIN LEVEL FLOOR PLAN	M-2	UPPER LEVEL MECHANICAL PLAN / LEGEND & NOTES
A-5	UPPER LEVEL FLOOR PLAN	S-1	FOUNDATION / MAIN FLOOR FRAMING PLAN
A-6	BUILDING SECTIONS	S-2	SECOND FLOOR / LOW ROOF FRAMING PLAN
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A-10	ACCESSIBLE BATHROOMS AND PARKING REQUIREMENTS	L-1	LANDSCAPE PLAN
		1 of 1	TOPOGRAPHIC SURVEY



VICINITY MAP

SUBJECT PROPERTY

AGENCY & CODE COMPLIANCE NOTES

Project Address: 540 Newport Way NW Issaquah, WA 98027

Legal Description: BEG 525 FT N & 880 FT W OF SE COR OF NW 1/4 OF SE 1/4 TH N 125 FT TH W 136.5 FT TO E LN OF ISSAQUAH NEWPORT RD TH SELY ALG RD TO A PT 50 FT W OF BEG TH E TO BEG LESS S 28 FT TH OF TGN W 101.2 FT OF W 15 FT OF FOLG DES TR-BAAP ON ELY MGN ISSAQUAH-NEWPORT RD 154 FT NLY OF SLY LN N 1/2 OF S 1/2 SD SEC TH NWLY ALG E LN SD HWY 88 FT TH E 50 FT TH N TO N LN OF N 1/2 OF S 1/2 OF SD SUBD TH E 311.5 FT ML TAP 668.5 FT W OF E LN SD SUBD TH S 132 FT TH SWLY TO BEG

Parcel #: 282406-9142

Property Owner: Ken & Kyle Sinner

Zoning: MF-M (Multi-Family Medium Density)

Code Jurisdiction:

- 2012 International Building Code, 2012 International Fire Code, 2012 Uniform Plumbing Code including all WA State Amendments
- 2012 WA State Energy Code WA State
- Ventilation and Indoor Air Quality Code
- 2009 ICC/ANSI 117.1 Accessible Useable Buildings and Facilities

Type of work - This Building Application: Substantial Remodel and Addition and of existing beauty salon to new 2-story office building utilizing existing foundation system.

Existing Occupancy Type: Beauty Salon (B)

Proposed Occupancy Type: Professional Office (B) **No Change of Occupancy proposed**

Accessibility: Reconstruction will meet all accessible criteria items as noted throughout plans.

Building Construction Type: V-B (No fire sprinklers or fire alarm)

Allowable Height & Building Area: Per Section 503 and Table 503; for type V-B construction and B occupancy:

- maximum allowable s.f. = 9,000 s.f.
- maximum allowable height = 40 feet
- maximum number of stories = 2

Actual Height & Building Area:

- Main Level = 2,004.5 s.f. / Upper Level = 1,098 s.f. **Total s.f. = 3,102.5 s.f.**
- Maximum Height @ ridge = 24.5 feet
- Number of stories = 2

Adjusted Area for Parking:

- Main Level = 1,675.5 s.f. / Upper Level = 1,044 s.f. **Total = 2,719.5 s.f.**
- See parking calculations - this sheet

Occupant Load: Per Table 1004.1.2:
Main Level @ 2,004.5 s.f. = 20 occupants / 1 exit required - 1 exit provided
Upper Level @ 1,098 s.f. = 11 occupants / 1 exit required - 1 exit provided

Total Occupancy Load for Building = 31 occupants (2 separate suites)

Plumbing Fixtures: Main Level: 20 occupants - (1) Men & (1) Women's Bathrooms provided / Drinking fountain not required
Upper Level: 11 occupants - (1) Unisex Bathroom provided / Drinking Fountain not required

Lot Area: 11,325 s.f. (0.26 acre)

Pervious/Impervious Ratio: Required Max. Impervious Area (50% of lot area): 5,662.5 s.f.
Existing impervious area: 7,413 s.f. (65.46%)
Proposed new impervious area: 6,587 s.f. (58%)
Per IMC section 18.08.020, any nonconforming lot, structure use or other development situation must comply with the standards and provisions of the Land Use Code. IMC 18.08.050 C adds that a nonconforming situation may be changed, including alteration or remodels, but the degree of nonconformity must be reduced by conforming to the fullest extent practical and feasible. The nonconforming impervious area has been reduced by increasing the landscape/pervious area of the site by 826 s.f.

*North parking stalls have been revised so as not to overflow onto the adjoining property to eliminate this "existing non-compliant" condition. An additional 256 s.f. of impervious area at North end of existing parking area that extends over property line has been converted to pervious/landscape area. Note: This area is not counted in the pervious/impervious ratio calculations for the property.

Impervious Area converted from parking lot to building: 149 s.f.



O'BRIEN & ASSOCIATES
ARCHITECTS

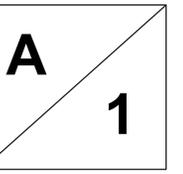
605 E SUNSET WAY - SUITE 100
ISSAQUAH, WA 98027
PHONE: (425) 557-0712
FAX: 557-0716
m.obrien@nowestservices.com

DATE: 4/7/2016
PROJECT NO: 180904
DRAWN BY: JGB

PROPOSED REMODEL FOR:

WINDSOR CONSTRUCTION

540 NEWPORT WAY NW
ISSAQUAH, WA 98027



EXISTING 6' H WOOD FENCE

DOWNSPOUT & SPLASHBLOCK

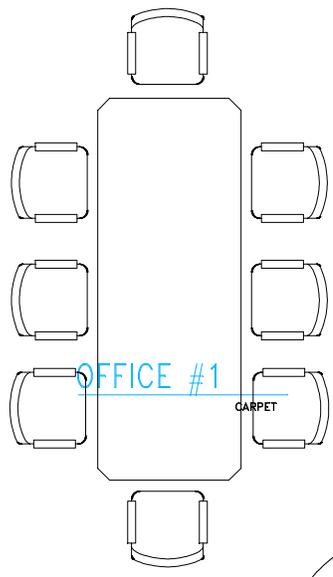
SG

AC-1

AC-1

GARBAGE

YARD WASTE



OFFICE #2
CARPET

RECYCLE

RECYCLE

5

5

7

+34"

WAITING
CARPET

+34"

RECEPTION
CARPET

5

7

2

8

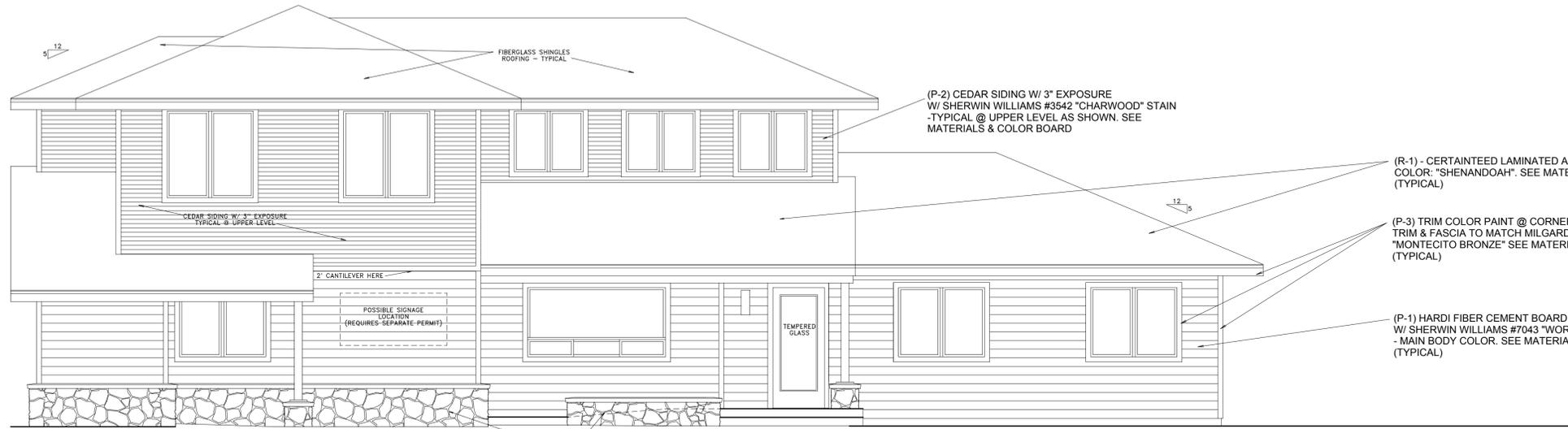
UP 18-R (10'6" FLR - FLR)
TREADS = 11" RISERS = 7"

1

OPEN OFFICE AREA
CARPET

+34"

9 50 GAL. H.W. TANK



WEST ELEVATION



**18.67% GLAZING
THIS ELEVATION**

SCALE: 1/4" = 1'0"



NORTH ELEVATION



**8.51% GLAZING
THIS ELEVATION**

SCALE: 1/4" = 1'0"

O'BRIEN & ASSOCIATES
ARCHITECTS

606 E SUNSET WAY - SUITE 100
 ISSAQUAH, WA 98027
 (425) 557-0712
 FAX: 557-0716
 mbrien@newwestservices.com
 date 4/19/2016
 project no. 15-104
 drawn by JIG

PROPOSED REMODEL FOR:
WINDSOR CONSTRUCTION

540 NEWPORT WAY NW
 ISSAQUAH, WA 98027

A
8



(P-2) CEDAR SIDING W/ 3" EXPOSURE
W/ SHERWIN WILLIAMS #3542 "CHARWOOD" STAIN
-TYPICAL @ UPPER LEVEL AS SHOWN. SEE
MATERIALS & COLOR BOARD

(R-1) - CERTAINTEED LAMINATED ASPHALT SHINGLES.
COLOR: "SHENANDOAH". SEE MATERIALS & COLOR BOARD.
(TYPICAL)

(P-3) TRIM COLOR PAINT @ CORNER BOARDS, WINDOWS
TRIM & FASCIA TO MATCH MILGARD WINDOWS COLOR
"MONTECITO BRONZE" SEE MATERIALS & COLOR BOARD.
(TYPICAL)

(P-1) SHERWIN WILLIAMS #7043 "WORLDLY GRAY" PAINT
@ SOFFITS (TYPICAL)

(P-1) HARDI FIBER CEMENT BOARD BEVEL LAP SIDING.
W/ SHERWIN WILLIAMS #7043 "WORLDLY GRAY" PAINT
- MAIN BODY COLOR. SEE MATERIALS & COLOR BOARD.
(TYPICAL)

EAST ELEVATION

19.67% GLAZING
THIS ELEVATION



SCALE: 1/4" = 1'0"



(R-1) - CERTAINTEED LAMINATED ASPHALT SHINGLES.
COLOR: "SHENANDOAH". SEE MATERIALS & COLOR BOARD.
(TYPICAL)

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TRIM & FASCIA TO MATCH MILGARD WINDOWS COLOR
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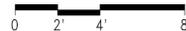
(P-1) HARDI FIBER CEMENT BOARD BEVEL LAP SIDING.
W/ SHERWIN WILLIAMS #7043 "WORLDLY GRAY" PAINT
- MAIN BODY COLOR. SEE MATERIALS & COLOR BOARD.
(TYPICAL)

(ST-1) ARCHITECTURAL STONE VENEER BY ELDORADO
STONE - CUT COURSE - COLOR "MADRONA". SEE
MATERIALS & COLOR BOARD (TYPICAL)

20' REAR
SETBACK
LINE

SOUTH ELEVATION

8.10% GLAZING
THIS ELEVATION



SCALE: 1/4" = 1'0"

O'BRIEN & ASSOCIATES
ARCHITECTS

605 E SUNSET WAY - SUITE 100
 ISSAQUAH, WA 98027
 (425) 557-0712
 FAX: 557-0716
 date: 4/19/2016
 project no: 15-04
 drawn by: JLB
 revisions: _____
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PROPOSED REMODEL FOR:
WINDSOR CONSTRUCTION
 540 NEWPORT WAY NW
 ISSAQUAH, WA 98027

A

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