

355 E. SUNSET WAY, ISSAQUAH WA.

ISSAQUAH WASHINGTON

WRITTEN NARRATIVE

LOCATION	355 E. SUNSET WAY, ISSAQUAH WA.
PARCEL NUMBER	342406-9096
TOTAL SITE AREA	13,200 SQ. FT. (0.303 ACRES)
ZONING	MF-H MULTI-FAMILY HIGH (29 DU/ACRE)
MAX DU/ACRE	29 DU / 0.303 ACRES = 8.787 UNITS

THE SITE IS LOCATED AT 355 E. SUNSET WAY, ISSAQUAH WA. ZONING FOR THE PROPERTY IS MF-H, MULTI-FAMILY (HIGH) RESIDENTIAL ALLOWING A DENSITY OF 29 UNITS PER ACRE. THIS WOULD ALLOW A TOTAL OF 8.787 UNITS ON THE SITE. PROPOSED UNIT COUNT WILL BE 8 UNITS. THE CURRENT SINGLE FAMILY (ONE STORY CIRCA 1936) WOULD BE DEMOLISHED.

AT AN AVERAGE OF 2 CARS PER UNIT, THE EXISTING DEVELOPMENT WOULD REQUIRE 16 OVERALL SPACES.

THE PROPOSED BUILDING WILL BE CONSTRUCTED AS A 4 STORY BUILDING AND CONSIST OF 2 TYPES OF OCCUPANCIES. THE FIRST FLOOR OF THE PROPOSED STRUCTURE WILL CONTAIN THE VEHICLE PARKING (GARAGE) TYPE 1-A (SPRINKLERED NFPA 13-R). THE REMAINING 3 FLOORS WILL CONSIST OF WOOD FRAME CONSTRUCTION TYPE V-A CONSTRUCTION AND SPRINKLERED (NFPA 13-R).

DEVELOPMENT OBJECTIVES IS TO CREATE GREATER RESIDENTIAL DENSITY WITHIN THE ORIGINAL TOWNSHIP OF THE CITY OF ISSAQUAH WHILE STILL HAVING A WARM AN INVITING CHARACTER THAT FITS IN WITH EVOLVING DESIGN CHARACTERISTICS OF THE GROWING COMMUNITY. THE PROJECTS MAIN ENTRY WILL BE OFF E. SUNSET WAY AND PARKING AND TRAFFIC WILL BE ROUTED BEHIND THE BUILDING OFF THE EXISTING ALLEY.

DEVELOPMENT STANDARDS WILL BE COMPATIBLE WITH THE SCALE AND CHARACTER OF THE COMMUNITY IN WHICH IT IS LOCATED AS WELL AS PROVIDE GREATER OPPORTUNITY FOR AN URBANIZED LIFESTYLE THAT IS LOCATED CLOSE TO AMENITIES WITHIN THE CITY. TO REDUCE THE SCALE AND EMPHASIZE IT'S IMPORTANCE, THERE WILL BE SETBACKS AND BUILDING MODULATIONS TO BREAK UP THE EXTERIOR AND GIVE IT A MORE RESIDENTIAL FEEL.

THE SITE REQUIRES A LOT IMPERVIOUS AREA NO GREATER THAN 50% OF THE SITE. WITHOUT USING ANY PERVIOUS PAVING THE PROJECT MAINTAINES A 49.9% IMPERVIOUS COVERAGE CONSISTING OF CONCRETE SIDEWALKS AND VEHICLE DRIVEWAYS WITH CUTOUTS FOR DRAINAGE.

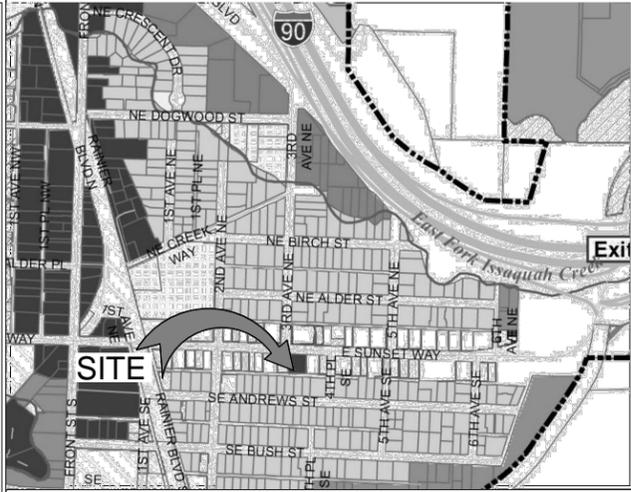
BUILDING HEIGHT LIMIT FOR THE CURRENT ZONING IS SET AT A 40'-0" MAX. THE CURRENT CONCEPTUAL DESIGN FOR THE BUILDING GIVES A MORE DOMINANT 4 STORIES (NORTH ELEVATION) FRONTING E. SUNSET WHICH FITS IN TO THE NEIGHBORING PROJECTS BUILT IN THE LAST DECADE WHILE DECREASING THE HEIGHT AT THE REAR TO 3 STORIES OFF THE ALLEY WHICH SEPARATES THE MULTIFAMILY ZONE FROM SINGLE FAMILY DUPLEX ZONE (SF-D 7.26 DU/ACRE). BY COMBINING THE 2 ROOF PLANES, BOTH THE REAR OF THE BUILDING WITH THE FRONT THE MID POINT OF THE SLOPED ROOF IS WITHIN THE SET GUIDELINES OF 40 FEET.

EXTERIOR FINISHES WILL CONSIST OF FIBER CEMENT SIDING (HARDIE) SIDING (BEVELED AND BOARD AND BATTEN) AND CMU BLOCKS AT GARAGE FLOOR. VINYL WINDOWS AND ASPHALT COMPOSITION ROOF SHINGLES WILL BE USED AND MAINTAIN THE VISUAL CUES OF THE SURROUNDING STREETSCAPES. THE BUILDING WILL HAVE SOME SHALLOW JULIET BALCONIES WITH METAL RAILINGS AND 6' SLIDING DOORS AS WELL AS DECKS (PRIVATE OPEN SPACE) FOR EACH UNIT.

PROPOSAL SUMMARY

3 STORIES OF APARMENT LIVING OVER 1 STORY GARAGE
 8 TOTAL LIVING UNITS RANGING FROM (3) 1 BEDROOM, (2) 2 BEDROOMS AND (3) 3 BEDROOM OPTIONS
 16 TOTAL PARKING STALLS INCLUDED PLUS ONE PUBLIC ACCESSIBLE VAN STALL

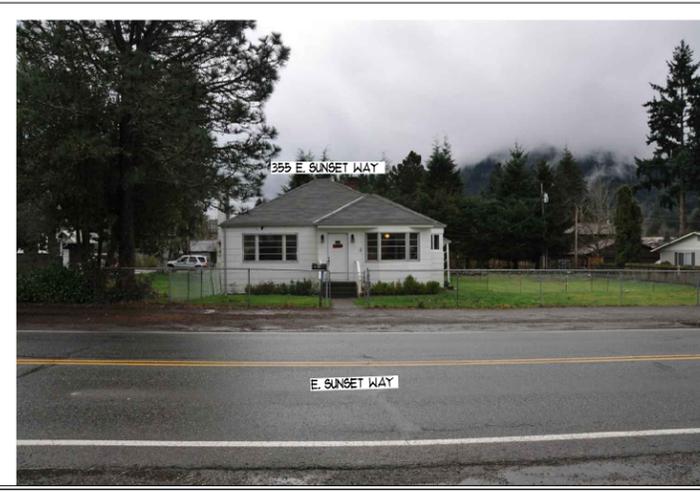
VICINITY PLAN



EXISTING SITE INFORMATION

- 1) CURRENT PROPERTY USES:
 EXISTING ONE STORY SINGLE FAMILY HOME CONSTRUCTED IN 1936 WILL BE REMOVED ALONG WITH EXISTING SHED AND CARPORT. SITE PREDOMINANTLY CONSISTS OF GRASS WITH VERY LITTLE LANDSCAPING. FRONT YARD CONSISTS OF AN EXISTING SIDEWALK AS WELL AS GRAVEL STREET PARKING RUNNING PARALLEL TO E. SUNSET WAY. THE REAR OF PROPERTY IS ACCESSED BY AN ALLEY OFF OF 4TH PL. SE. (SEE ITEM #3 AND 4)
 THE PROJECTS PROPERTY CURRENTLY IS SURROUNDED BY OLDER RESIDENTIAL ONE OR 2 STORIES HOMES IN THE IMMEDIATE SURROUNDINGS AS WELL AS NEWER MULTI-STORIED APARTMENTS/ CONDOMINIUMS LOCATED UP AND DOWN E. SUNSET WAY. ACROSS THE STREET DEVELOPMENT CONSISTS OF OFFICE SPACE, MULTIFAMILY UNITS AND SERVICE GARAGES
- 2) ZONING : MF-H
- 3) SURVEY PROVIDED BY ENCOMPASS ENGINEERS (SEE SEPARATE SURVEY SHEET...)
- 4) NO CRITICAL AREAS LOCATED ON PROPERTY
- 5) UTILITIES: PUBLIC SEWER AND WATER LOCATED ON SITE
 NO EASEMENTS ON PROPERTY
- 6) NO NOTABLE PHYSICAL FEATURES ON SITE
- 7) NO PERTINENT VIEWS ON SITE
- 8) SITE AND AERIAL PHOTOS SEE ITEM # 1 AND 2
- 9) MAPS OF ACCESS OPPORTUNITIES AND CONSTRAINTS. (NOT APPLICABLE)
- 10) AXONOMETRIC PHOTOS OF SURROUNDING 500' SEE ITEM #2
- 11) PHOTO MONTAGE OF THE STREETSCAPE (BOTH SIDES OF THE STREET) IDENTIFYING THE SITE. SEE ITEM # 5 & # 6 & SHEET 3 OF 16

3) EXISTING PROPERTY ELEVATION



4) EXISTING STREET PERSPECTIVE



1) AERIAL PHOTO OF PROPERTY



2) AXONOMETRIC PHOTO OF EXISTING PROPERTY



5) PANORAMIC STREET SCAPES OF EXISTING PROPERTY



6) PANORAMIC STREET SCAPES OF EXISTING PROPERTY ACROSS THE STREET



ISSAQUAH APARTMENTS

PROJECT ADDRESS: 355 E. SUNSET WAY
 ISSAQUAH, WASHINGTON

CLIENT: WHICH IS PROMISE, LLC
 19538 9E 51ST STREET
 ISSAQUAH, WA 98021

CONTACT: D.J. LOVERIDGE

NARRATIVE AND EXISTING SITE INFO AND ANALYSIS

DATE:
 02-12-15

SHEET NUMBER
 1 OF 16

SCALE:
 N.T.S.

JOB #: X\1422_12 IBC_MF-ISSAQUAH\ISSAQUAH APARTMENTS\SHEETS\PRE-APP SUBMISSION

1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921

E-mail: OFFICE@GMSARCH.COM

Architecture ♦ Design ♦ Planning ♦



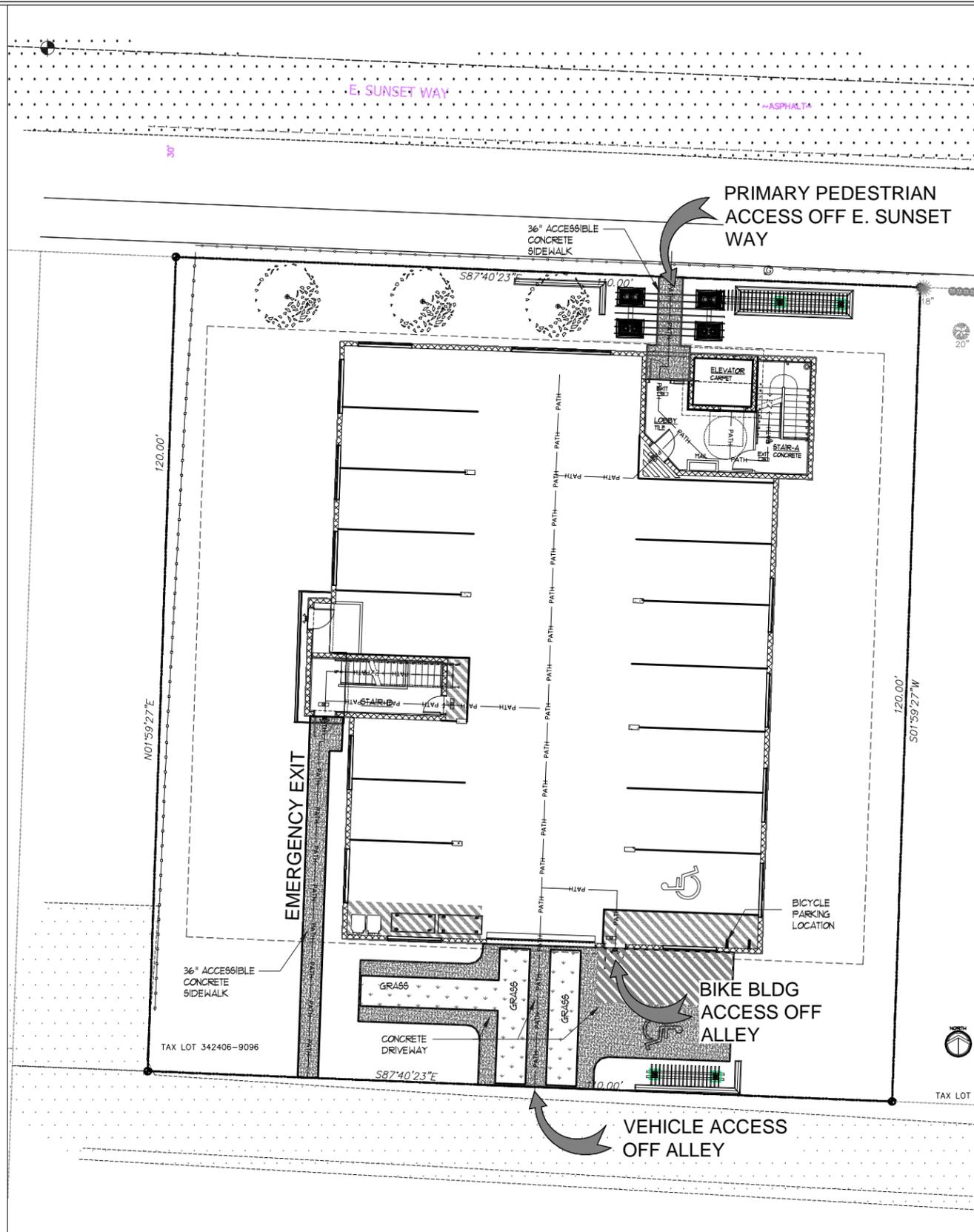
Architecture • Design • Planning
 © GMS 2016

355 E. SUNSET WAY, ISSAQUAH WA.

ISSAQUAH

WASHINGTON

4 CIRCULATION SCHEMES



PROPOSED SITE AND ARCHITECTURAL CONCEPTS

- BUILDING MASSING SEE ELEVATIONS BUILDING PLANS AND PERSPECTIVES
- ARCHITECTURAL CONCEPTS SEE PROPOSED ELEVATIONS AND PERSPECTIVE
- CIRCULATION SCHEMES SEE ITEM # 4
- TREE PRESERVATION: NO SIGNIFICANT TREES LOCATED ON SITE
MINIMUM TREE DENSITY REQUIRED PER SECTION IMC 18.12.1370(A): Minimum Tree Density Requirements =
MULTIFAMILY DEVELOPMENT
4 SIGNIFICANT TREES² PER 5,000 SQ. FT. = 13,200/5,000 = 3 REQUIRED
- LANDSCAPE CONCEPTS SEE ITEM #2:
- VEHICLE PARKING WILL BE PRIMARILY LOCATE IN GARAGE. GUEST PARKING WILL BE ON-STREET LOCATED PARALLEL TO E. SUNSET WAY.
- BICYCLE PARKING: 18.09.030 PROVISION OF REQUIRED PARKING.
BICYCLE PARKING SPACES EQUAL TO FIVE (5) PERCENT OF REQUIRED AUTOMOBILE PARKING SPACES FOR THE FIRST THREE HUNDRED (300) REQUIRED AUTO STALLS
PROVIDED SPACES 16x5% = 1 BICYCLE STALL REQUIRED/ PROVIDED
(SPACE TO BE LOCATED IN GARAGE)
- CONCEPTUAL GRADING AND UTILITIES (CORRIDORS, LOCATION & APPROXIMATE CAPACITY: TO BE DETERMINED
- WASTE FACILITIES- PRELIMINARY SIZE CALCULATIONS, LOCATIONS (WITHIN 200' OF EACH UNIT)
1.5 CU.YD. PER UNIT PER MONTH X 8 UNITS = 12 CU.YD. PER MONTH
12 CU.YD. / 4 WEEKS = 3 CU.YD. A WEEK
25% FOOD WASTE = .75 CU.YD. = (2) 64 GAL. CART (1/3 CU.YD.)
37% RECYCLABLES = 1.11 CU.YD. = (3) 96 GAL. CART (1/2 CU.YD) OR (1) 1.5 CU.YD. ON ROLLERS
37% GARBAGE = 1.11 CU.YD. = 1.5 CU.YD. ON ROLLERS
WASTE FACILITIES SHALL BE PROVIDED IN THE GARAGE NEAREST THE ALLEY FOR ROLL OUT AND PICK UP BY RECOLOGY CLEANSCAPES
- GRADING PROPOSAL WITH 5 FT MAXIMUM GRADE LINES, INCLUDING ROCKERIES, ETC: SEE ENCLOSED SURVEY
- CRITICAL AREAS INDICATING TYPE, CLASS BUFFER, SETBACK, ETC: N/A
- OWNERSHIP AND MAINTENANCE RESPONSIBILITIES OF ANY PROPOSED IMPROVEMENTS: N/A
- LOCATION OF VAULTS, EQUIPMENT, METERS, ETC...WHICH ARE OUTSIDE OF THE BUILDING AS WELL AS SCREENING TECHNIQUES: (TO BE DETERMINED)
NO GAS PROVIDED
ELECTRICAL PANELS WILL BE PROVIDED IN THE SW CORNER OF PARKING GARAGE ANY ELECTRICAL VAULTS ON PROPERTY SHALL BE SCREENED WITH VEGETATION.

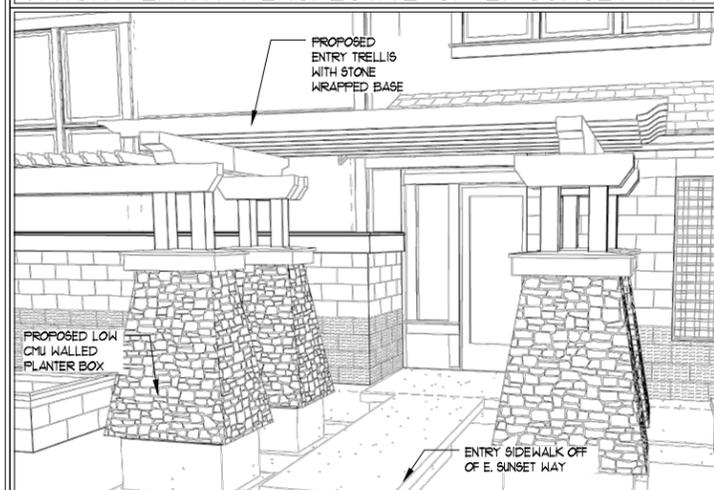
SUMMARY OR REQUESTED DEVELOPMENT ADJUSTMENTS

- CODE STANDARDS AND AMOUNTS: NONE
- PROPOSED ADJUSTMENT AMOUNTS: NONE
- EXPLAIN HOW THE PROPOSED DESIGN INTENDS TO MEET OR EXCEED THE CITY'S DEVELOPMENT AND/OR DESIGN STANDARDS, AND A QUANTITATIVE COMPARISON TO CODE -COMPLYING SCHEME
 - PROJECT MEETS REQUIREMENTS OF IMPERVIOUS LOT COVERAGE (WITH NO USE OF PERVIOUS PAVING)
 - PROJECT MEETS THE PARKING REQUIREMENTS FOR THE PROPOSED UNIT COUNTS
 - PROJECT MEETS THE MODULATION REQUIREMENTS SET FORTH BY THE DEVELOPMENT STANDARDS
 - PROJECT MEETS THE BUILDING HEIGHT REQUIREMENT OF 40'-0"
- A LIST OF QUESTIONS AND/ OR INTERPRETATIONS FOR CITY STAFF TO ADDRESS:
 - NONE AT THIS TIME

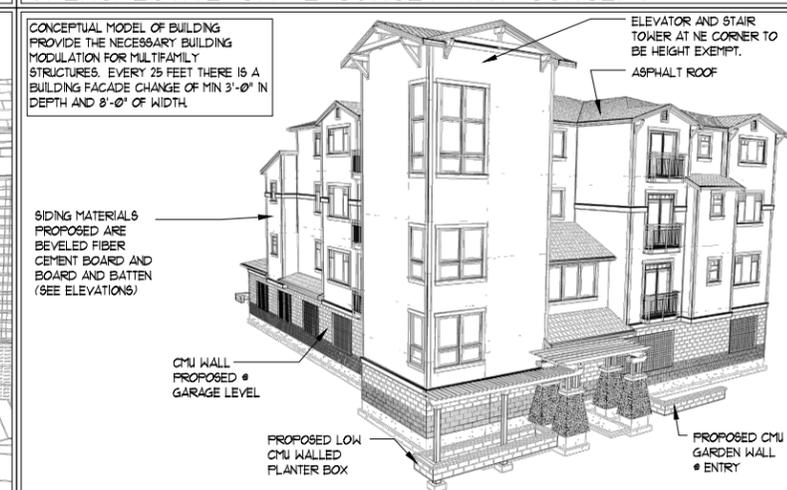
1) PERSPECTIVE OFF ALLEY CONCEPT



3) FRONT ENTRY PERSPECTIVE OF E. SUNSET WAY



2) PERSPECTIVE OFF E. SUNSET WAY CONCEPT



ISSAQUAH APARTMENTS
PROJECT ADDRESS: 355 E. SUNSET WAY
ISSAQUAH, WASHINGTON
CLIENT: WHICH IS PROMISE, LLC
19538 SE 51ST STREET
ISSAQUAH, WA 98021
CONTACT: D.J. LOVERIDGE

PROPOSED SITE AND ARCHITECTURAL CONCEPTS
DATE: 02-12-15
SHEET NUMBER 2 OF 16
SCALE: N.T.S.
JOB: X:\1422_12_IBC_MF-ISSAQUAH\ISSAQUAH APARTMENTS\SHEETS\PRE-APP SUBMISSION



355 E. SUNSET WAY, ISSAQUAH WA.

ISSAQUAH WASHINGTON

LEGAL DESCRIPTION	SITE DATA	UNIT SUMMARY	OCCUPANT LOAD	PROJECT TEAM																																																																																																																																																	
<p>THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:</p> <p>BEGINNING AT A POINT ON THE SOUTH LINE OF MILL STREET, WHICH IS 30 FEET SOUTH AND EAST OF THE NORTHWEST CORNER OF SAID SUBDIVISION; THENCE EAST ALONG SAID SOUTH LINE 110 FEET; THENCE SOUTH 120 FEET; THENCE WEST 110 FEET; THENCE NORTH 120 FEET TO THE POINT OF BEGINNING.</p> <p>SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.</p>	<p>LOCATION 355 E. SUNSET WAY, ISSAQUAH WA.</p> <p>PARCEL NUMBER 342406-9096</p> <p>TOTAL SITE AREA 13,200 SQ. FT. (0.303 ACRES)</p> <p>ZONING MF-H MULTI-FAMILY HIGH (29 DU/ACRE)</p> <p>MAX DU/ ACRE 29 DU / 0.303 ACRES = 8.787 UNITS</p> <p>PARKING REQUIREMENTS PER TABLE 18.09.050</p> <p>LAND USE REQUIRED PARKING</p> <p>RESIDENTIAL 1 SPACE PER UNIT</p> <p>MULTIFAMILY: STUDIO APARTMENT 1 SPACE PER UNIT</p> <p>MULTIFAMILY: OTHER THAN STUDIO 2 SPACES PER UNIT</p> <p>PARKING SPACES REQUIRED FOR PROPOSED BUILDING</p> <p>8 UNITS 2 SPACES PER UNIT 16 STALLS</p> <p>PARKING SPACES PROVIDED FOR PROPOSED BUILDING</p> <p>GARAGE PARKING</p> <p>STANDARD STALLS 9'-0"x20'-0" 10 STALLS</p> <p>COMPACT STALLS MIN. 9'-0"x15'-0" 4 STALLS</p> <p>HANDICAPPED STANDARD STALLS 9'-0"x20'-0" 1 STALLS</p> <p>TOTAL 15 STALLS</p> <p>ON SITE PARKING</p> <p>VAN HANDICAPPED STALL 16'-0"x20'-0" 1 STALLS</p> <p>STANDARD STALLS 9'-0"x20'-0" 1 STALLS</p> <p>TOTAL 17 STALLS</p> <p>IMPERVIOUS SURFACE</p> <p>REQUIREMENTS PER 18.07.360 TABLE 1</p> <p>SITE AREA 13,200 SF 90% IMPERVIOUS PER MF-H 6,600 SQ. FT.</p> <p>PROVIDED IMPERVIOUS AREAS</p> <p>ENTRY SIDEWALK 61 SQ. FT.</p> <p>BUILDING FOOTPRINT 8,163 SQ. FT.</p> <p>FRONT CANTILEVER 21 SQ. FT.</p> <p>REAR EXIT SIDEWALK 169 SQ. FT.</p> <p>REAR DRIVEWAY/PARKING 368 SQ. FT.</p> <p>TOTAL 8,581 SQ. FT. 49.30%</p> <p>OPEN SPACE REQUIREMENTS</p> <p>REQUIRED MIN. OUTDOOR SPACE PER UNIT (6'-0"x8'-0" MIN. DIM.) 48 SQ. FT. PER UNIT</p> <p>(PRIVATE OR COMMON OPEN SPACE) PER 18.07.440 8 UNITS 384 SQ. FT.</p> <p>PROVIDED (PRIVATE OPEN SPACE)</p> <p>1ST FLOOR 2ND FLOOR 3RD FLOOR</p> <p>UB83 UB83 UB83 UB83 UB83 UB83 UB83 UB83 UB83 UB83</p> <p>DECK AREA 88 SQ. FT. 88 SQ. FT.</p> <p>TOTAL 880 SQ. FT.</p>	<p>DWELLING UNITS ALLOWED 18.07.360 TABLE 1</p> <p>29 DU / 0.303 ACRES = 8.787 UNITS</p> <p>UNIT TYPE AND COUNT PROVIDED</p> <table border="1"> <thead> <tr> <th>UNIT NAME</th> <th>UNIT DESCRIPTION</th> <th>UNIT COUNT</th> <th>AREA</th> <th>TOTAL UNIT AREA</th> </tr> </thead> <tbody> <tr> <td>U031-HC</td> <td>1 BEDRM+ DEN+ BATH</td> <td>1</td> <td>1,031 SQ. FT.</td> <td>1,031 SQ. FT.</td> </tr> <tr> <td>U031</td> <td>1 BEDRM+ DEN+ BATH</td> <td>2</td> <td>1,031 SQ. FT.</td> <td>2,062 SQ. FT.</td> </tr> <tr> <td>U418/1</td> <td>2 BEDRM+ DEN+ BATH</td> <td>1</td> <td>1,418 SQ. FT.</td> <td>1,418 SQ. FT.</td> </tr> <tr> <td>U418/2</td> <td>2 BEDRM+ DEN+ BATH</td> <td>1</td> <td>1,418 SQ. FT.</td> <td>1,418 SQ. FT.</td> </tr> <tr> <td>UB53</td> <td>3 BEDRM+ BATH</td> <td>1</td> <td>1,553 SQ. FT.</td> <td>1,553 SQ. FT.</td> </tr> <tr> <td>UB53</td> <td>3 BEDRM+ BATH</td> <td>2</td> <td>1,553 SQ. FT.</td> <td>3,106 SQ. FT.</td> </tr> <tr> <td>TOTAL</td> <td></td> <td>8 UNITS</td> <td></td> <td>10,666 SQ. FT.</td> </tr> </tbody> </table> <p>TYPE 'A' ACCESSIBLE UNITS 1 UNIT (PER 2021 IBC TABLE 107.1.1)</p> <p>TYPE 'B' ACCESSIBLE UNITS 1 UNIT (PER 2021 IBC TABLE 107.1.2)</p> <p>BUILDING SUMMARY</p> <p>PARKING STRUCTURE CODE REVIEW</p> <p>BUILDING AREA TOTAL 5,163 SQ. FT.</p> <p>BUILDING HEIGHT 3 STORY</p> <p>TYPE OF CONSTRUCTION TYPE I-A</p> <p>BUILDING CLASSIFICATION GROUP S-2</p> <p>SPRINKLERED: YES (NFPA 13R SPRINKLER SYSTEM PER 2001 I.B.C. SEC. 407.4 + 903.3)</p> <p>ALLOWABLE BUILDING AREA: UNLIMITED</p> <p>OCCUPANCY SEPARATION 2 HOUR (TABLE 302.3.2 2001 I.B.C.)</p> <p>RESIDENTIAL CODE REVIEW</p> <p>BUILDING AREA TOTAL 13,781 SQ. FT.</p> <p>BUILDING HEIGHT 3 STORY</p> <p>TYPE OF CONSTRUCTION TYPE V-A (WOOD FRAME)</p> <p>BUILDING CLASSIFICATION GROUP R-2</p> <p>SPRINKLERED: YES (NFPA 13R SPRINKLER SYSTEM PER 2001 I.B.C. SEC. 407.4 + 903.3)</p> <p>ALLOWABLE BUILDING AREA: 12,000 SQ. FT. PER FLOOR PER IBC 2001 TABLE 503</p> <p>AREA INCREASE PER I.B.C. 308.3 200% PER FLOOR (AUTOMATIC SPRINKLER INCREASE) = 24,000 SQ. FT.</p> <p>TOTAL ALLOWABLE BLDG. AREA 12,000 SQ. FT. (3 FLOORS)</p> <p>TOTAL DWELLING UNITS 8 DWELLING UNITS</p> <p>TYPE 'A' ACCESSIBLE UNITS 1 UNIT (PER 2021 IBC TABLE 107.1.1)</p> <p>TYPE 'B' ACCESSIBLE UNITS 1 UNIT (PER 2021 IBC TABLE 107.1.2)</p> <p>OCCUPANCY SEPARATION 1 HOUR BETWEEN UNITS</p> <p>BUILDING SQUARE FOOTAGE (LIVING AREA ONLY) PER FLOOR (INCLUDING CORRIDOR, STAIR AND ELEVATOR)</p> <table border="1"> <thead> <tr> <th>FLOOR</th> <th>1ST FLOOR</th> <th>2ND FLOOR</th> <th>3RD FLOOR</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>BUILDING AREA</td> <td>356 SQ. FT.</td> <td>4,713 SQ. FT.</td> <td>4,700 SQ. FT.</td> <td>3,264 SQ. FT.</td> </tr> <tr> <td>DECK AREA</td> <td>88 SQ. FT.</td> <td>88 SQ. FT.</td> <td>88 SQ. FT.</td> <td>264 SQ. FT.</td> </tr> <tr> <td>STOR. AREA</td> <td>11 SQ. FT.</td> <td>11 SQ. FT.</td> <td>11 SQ. FT.</td> <td>33 SQ. FT.</td> </tr> <tr> <td>BLDG AREA TOTAL</td> <td></td> <td></td> <td></td> <td>13,781 SQ. FT.</td> </tr> </tbody> </table> <p>BUILDING DECK AND STORAGE SQUARE FOOTAGE AREA</p> <table border="1"> <thead> <tr> <th>FLOOR</th> <th>1ST FLOOR</th> <th>2ND FLOOR</th> <th>3RD FLOOR</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>DECK AREA</td> <td>88 SQ. FT.</td> <td>88 SQ. FT.</td> <td>88 SQ. FT.</td> <td>264 SQ. FT.</td> </tr> <tr> <td>STOR. AREA</td> <td>11 SQ. FT.</td> <td>11 SQ. FT.</td> <td>11 SQ. FT.</td> <td>33 SQ. FT.</td> </tr> <tr> <td>BLDG AREA TOTAL</td> <td></td> <td></td> <td></td> <td>307 SQ. FT.</td> </tr> </tbody> </table>	UNIT NAME	UNIT DESCRIPTION	UNIT COUNT	AREA	TOTAL UNIT AREA	U031-HC	1 BEDRM+ DEN+ BATH	1	1,031 SQ. FT.	1,031 SQ. FT.	U031	1 BEDRM+ DEN+ BATH	2	1,031 SQ. FT.	2,062 SQ. FT.	U418/1	2 BEDRM+ DEN+ BATH	1	1,418 SQ. FT.	1,418 SQ. FT.	U418/2	2 BEDRM+ DEN+ BATH	1	1,418 SQ. FT.	1,418 SQ. FT.	UB53	3 BEDRM+ BATH	1	1,553 SQ. FT.	1,553 SQ. FT.	UB53	3 BEDRM+ BATH	2	1,553 SQ. FT.	3,106 SQ. FT.	TOTAL		8 UNITS		10,666 SQ. FT.	FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL	BUILDING AREA	356 SQ. FT.	4,713 SQ. FT.	4,700 SQ. FT.	3,264 SQ. FT.	DECK AREA	88 SQ. FT.	88 SQ. FT.	88 SQ. FT.	264 SQ. FT.	STOR. AREA	11 SQ. FT.	11 SQ. FT.	11 SQ. FT.	33 SQ. FT.	BLDG AREA TOTAL				13,781 SQ. FT.	FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL	DECK AREA	88 SQ. FT.	88 SQ. FT.	88 SQ. FT.	264 SQ. FT.	STOR. AREA	11 SQ. FT.	11 SQ. FT.	11 SQ. FT.	33 SQ. FT.	BLDG AREA TOTAL				307 SQ. FT.	<p>OCCUPANT LOAD</p> <p>FLOOR AREA: THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION (NOT INCLUDING VENT SHAFTS AND CORRETS INCLUDING EXTERIOR WALLS, STAIRWAYS, ELEVATOR SHAFTS AND OTHER FLOOR AREAS). ALSO INCLUDES THE USABLE AREA UNDER THE HORIZONTAL PROJECTIONS OF THE ROOF OR FLOOR ABOVE THE PRIVATE OPEN SPACE DECKS.</p> <p>** FLOOR AREA NET: THE ACTUAL OCCUPIED AREA NOT INCLUDING UNOCCUPIED ACCESSORY AREAS SUCH AS CORRIDORS, STAIRWAYS, TOILET ROOMS, MECHANICAL ROOMS AND CLOSETS.</p> <p>OCCUPANT LOAD CALCULATIONS BY FLOOR (TABLE 1004.1.2)</p> <table border="1"> <thead> <tr> <th>FLOOR</th> <th>PARKING GARAGES</th> <th>OCCUPANT LOAD FACTOR</th> <th>FLOOR AREA</th> <th>NUMBER OF OCCUPANTS</th> </tr> </thead> <tbody> <tr> <td>GARAGE FLOOR (S-2)</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td>200 GROSS</td> <td>5/31</td> <td>511 SQ. FT.</td> <td>16 OCCUPANTS</td> </tr> <tr> <td>RESIDENTIAL GARAGE FLOOR</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>RESIDENTIAL</td> <td>200 GROSS</td> <td>3/56</td> <td>356 SQ. FT.</td> <td>7 OCCUPANTS</td> </tr> <tr> <td>RESIDENTIAL FIRST FLOOR</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>RESIDENTIAL</td> <td>200 GROSS</td> <td>4/73</td> <td>473 SQ. FT.</td> <td>25 OCCUPANTS</td> </tr> <tr> <td>RESIDENTIAL SECOND FLOOR</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>RESIDENTIAL</td> <td>200 GROSS</td> <td>4/100</td> <td>610 SQ. FT.</td> <td>25 OCCUPANTS</td> </tr> <tr> <td>RESIDENTIAL THIRD FLOOR</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>RESIDENTIAL</td> <td>200 GROSS</td> <td>3/24</td> <td>324 SQ. FT.</td> <td>11 OCCUPANTS</td> </tr> <tr> <td>TOTAL</td> <td></td> <td></td> <td></td> <td>55 OCCUPANTS</td> </tr> </tbody> </table>	FLOOR	PARKING GARAGES	OCCUPANT LOAD FACTOR	FLOOR AREA	NUMBER OF OCCUPANTS	GARAGE FLOOR (S-2)						200 GROSS	5/31	511 SQ. FT.	16 OCCUPANTS	RESIDENTIAL GARAGE FLOOR					RESIDENTIAL	200 GROSS	3/56	356 SQ. FT.	7 OCCUPANTS	RESIDENTIAL FIRST FLOOR					RESIDENTIAL	200 GROSS	4/73	473 SQ. FT.	25 OCCUPANTS	RESIDENTIAL SECOND FLOOR					RESIDENTIAL	200 GROSS	4/100	610 SQ. FT.	25 OCCUPANTS	RESIDENTIAL THIRD FLOOR					RESIDENTIAL	200 GROSS	3/24	324 SQ. FT.	11 OCCUPANTS	TOTAL				55 OCCUPANTS	<p>OWNER:</p> <p>WHICH IS PROMISE, LLC 19538 SE 51ST STREET ISSAQUAH, WA 98027 FAX: TEL: 425-922-3489 CONTACT: D.J. LOVERIDGE EMAIL: mtbsport19@msn.com</p> <p>ARCHITECT:</p> <p>GMS ARCHITECTURAL GROUP 1804 136th Pl. N.E., SUITE #1 BELLEVUE, WA 98005 FAX: (425) 644-1921 TEL: (425) 644-1446 CONTACT: RICHARD GULSTROM EMAIL: office@gmsarch.com</p> <p>SURVEYOR:</p> <p>ENCOMPASS ENGINEERING & SURVEYING 165 NE JUNIPER STREET, SUITE 201 ISSAQUAH, WA 98027 FAX: (425) 391-3055 TEL: (425) 392-0250 CONTACT: JOE FORKNER EMAIL: jforkner@compasses.net</p> <p>CIVIL ENGINEER:</p> <p>STRUCTURAL ENGINEER:</p> <p>INTERIORS:</p> <p>MECHANICAL ENGINEER:</p>
UNIT NAME	UNIT DESCRIPTION	UNIT COUNT	AREA	TOTAL UNIT AREA																																																																																																																																																	
U031-HC	1 BEDRM+ DEN+ BATH	1	1,031 SQ. FT.	1,031 SQ. FT.																																																																																																																																																	
U031	1 BEDRM+ DEN+ BATH	2	1,031 SQ. FT.	2,062 SQ. FT.																																																																																																																																																	
U418/1	2 BEDRM+ DEN+ BATH	1	1,418 SQ. FT.	1,418 SQ. FT.																																																																																																																																																	
U418/2	2 BEDRM+ DEN+ BATH	1	1,418 SQ. FT.	1,418 SQ. FT.																																																																																																																																																	
UB53	3 BEDRM+ BATH	1	1,553 SQ. FT.	1,553 SQ. FT.																																																																																																																																																	
UB53	3 BEDRM+ BATH	2	1,553 SQ. FT.	3,106 SQ. FT.																																																																																																																																																	
TOTAL		8 UNITS		10,666 SQ. FT.																																																																																																																																																	
FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL																																																																																																																																																	
BUILDING AREA	356 SQ. FT.	4,713 SQ. FT.	4,700 SQ. FT.	3,264 SQ. FT.																																																																																																																																																	
DECK AREA	88 SQ. FT.	88 SQ. FT.	88 SQ. FT.	264 SQ. FT.																																																																																																																																																	
STOR. AREA	11 SQ. FT.	11 SQ. FT.	11 SQ. FT.	33 SQ. FT.																																																																																																																																																	
BLDG AREA TOTAL				13,781 SQ. FT.																																																																																																																																																	
FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL																																																																																																																																																	
DECK AREA	88 SQ. FT.	88 SQ. FT.	88 SQ. FT.	264 SQ. FT.																																																																																																																																																	
STOR. AREA	11 SQ. FT.	11 SQ. FT.	11 SQ. FT.	33 SQ. FT.																																																																																																																																																	
BLDG AREA TOTAL				307 SQ. FT.																																																																																																																																																	
FLOOR	PARKING GARAGES	OCCUPANT LOAD FACTOR	FLOOR AREA	NUMBER OF OCCUPANTS																																																																																																																																																	
GARAGE FLOOR (S-2)																																																																																																																																																					
	200 GROSS	5/31	511 SQ. FT.	16 OCCUPANTS																																																																																																																																																	
RESIDENTIAL GARAGE FLOOR																																																																																																																																																					
RESIDENTIAL	200 GROSS	3/56	356 SQ. FT.	7 OCCUPANTS																																																																																																																																																	
RESIDENTIAL FIRST FLOOR																																																																																																																																																					
RESIDENTIAL	200 GROSS	4/73	473 SQ. FT.	25 OCCUPANTS																																																																																																																																																	
RESIDENTIAL SECOND FLOOR																																																																																																																																																					
RESIDENTIAL	200 GROSS	4/100	610 SQ. FT.	25 OCCUPANTS																																																																																																																																																	
RESIDENTIAL THIRD FLOOR																																																																																																																																																					
RESIDENTIAL	200 GROSS	3/24	324 SQ. FT.	11 OCCUPANTS																																																																																																																																																	
TOTAL				55 OCCUPANTS																																																																																																																																																	

PHOTO MONTAGE OF SURROUNDING PROPERTIES



ISSAQUAH APARTMENTS
PROJECT ADDRESS: 355 E. SUNSET WAY
ISSAQUAH, WASHINGTON

CLIENT: WHICH IS PROMISE, LLC
19538 SE 51ST STREET
ISSAQUAH, WA 98021

CONTACT: D.J. LOVERIDGE

1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921
E-mail: OFFICE@GMSARCH.COM Architecture ♦ Design ♦ Planning ♦

PROJECT STATISTICS & PHOTO MONTAGE OF SURROUNDING PROPERTY

DATE: 02-12-15
SHEET NUMBER 3 OF 16
SCALE: N.T.S.

JOB #: X11422_12_IBC_MF-ISSAQUAH-ISSAQUAH APARTMENTS-SHEETS/PRE-APP SUBMISSION.1.0 NARRATIVE

GMS Architectural Group
Architecture • Design • Planning
© GMS 2016

SITE DATA

LOCATION	355 E. SUNSET WAY, ISSAQUAH WA.
PARCEL NUMBER	342406-9096
TOTAL SITE AREA	13,200 SQ. FT. (0.303 ACRES)
ZONING	MF-H MULTI-FAMILY HIGH (29 DU/ACRE)
MAX DU/ ACRE	29 DU / 0.303 ACRES = 8.787 UNITS

PARKING REQUIREMENTS PER TABLE 18.09.050

LAND USE	REQUIRED PARKING
RESIDENTIAL	
MULTIFAMILY: STUDIO APARTMENT	1 SPACE PER UNIT ³
MULTIFAMILY: OTHER THAN STUDIO	2 SPACE PER UNIT ³

PARKING SPACES REQUIRED FOR PROPOSED BUILDING

	8 UNITS	2 SPACES PER UNIT	REQUIRED # OF STALLS
			16 STALLS

PARKING SPACES PROVIDED FOR PROPOSED BUILDING

GARAGE PARKING			
STANDARD STALLS 9'-0"x20'-0"			10 STALLS
COMPACT STALLS MIN. 9'-0"x15'-0"			4 STALLS
HANDICAPPED STANDARD STALLS 9'-0"x20'-0"			1 STALL
TOTAL			15 STALLS

ON SITE PARKING

VAN HANDICAPPED STALL 16'-0"x20'-0"	1 STALL
STANDARD STALLS 9'-0"x20'-0"	1 STALL
TOTAL	17 STALLS

IMPERVIOUS SURFACE

REQUIREMENTS PER 18.07.360 TABLE 1

SITE AREA	13,200 SF	50%	IMPERVIOUS PER MF-H	6,600 SQ. FT.
-----------	-----------	-----	---------------------	---------------

PROVIDED IMPERVIOUS AREAS

ENTRY SIDEWALK	61 SQ. FT.
BUILDING FOOTPRINT	5,163 SQ. FT.
FRONT CANTILEVER	21 SQ. FT.
REAR EXIT SIDEWALK	169 SQ. FT.
REAR DRIVEWAY/PARKING	568 SQ. FT.
TOTAL	6,581 SQ. FT. 49.90%

OPEN SPACE REQUIREMENTS

REQUIRED MIN. OUTDOOR SPACE PER UNIT (6'-0"x8'-0" MIN. DIM.) (PRIVATE OR COMMON OPEN SPACE) PER 18.07.440	REQUIRED
	48 SF./ UNITS
	8 UNITS 384 SQ. FT.

PROVIDED (PRIVATE OPEN SPACE)

	1ST FLOOR	2ND FLOOR	3RD FLOOR	PROVIDED
DECK AREA	88 SQ. FT. 103 SQ. FT. 60 SQ. FT.	88 SQ. FT. 103 SQ. FT. 60 SQ. FT.	88 SQ. FT. 103 SQ. FT. 60 SQ. FT.	8 UNITS 650 SQ. FT.

LEGAL DESCRIPTION

THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF MILL STREET, WHICH IS 30 FEET SOUTH AND EAST OF THE NORTHWEST CORNER OF SAID SUBDIVISION;
 THENCE EAST ALONG SAID SOUTH LINE 110 FEET;
 THENCE SOUTH 120 FEET;
 THENCE WEST 110 FEET;
 THENCE NORTH 120 FEET TO THE POINT OF BEGINNING.

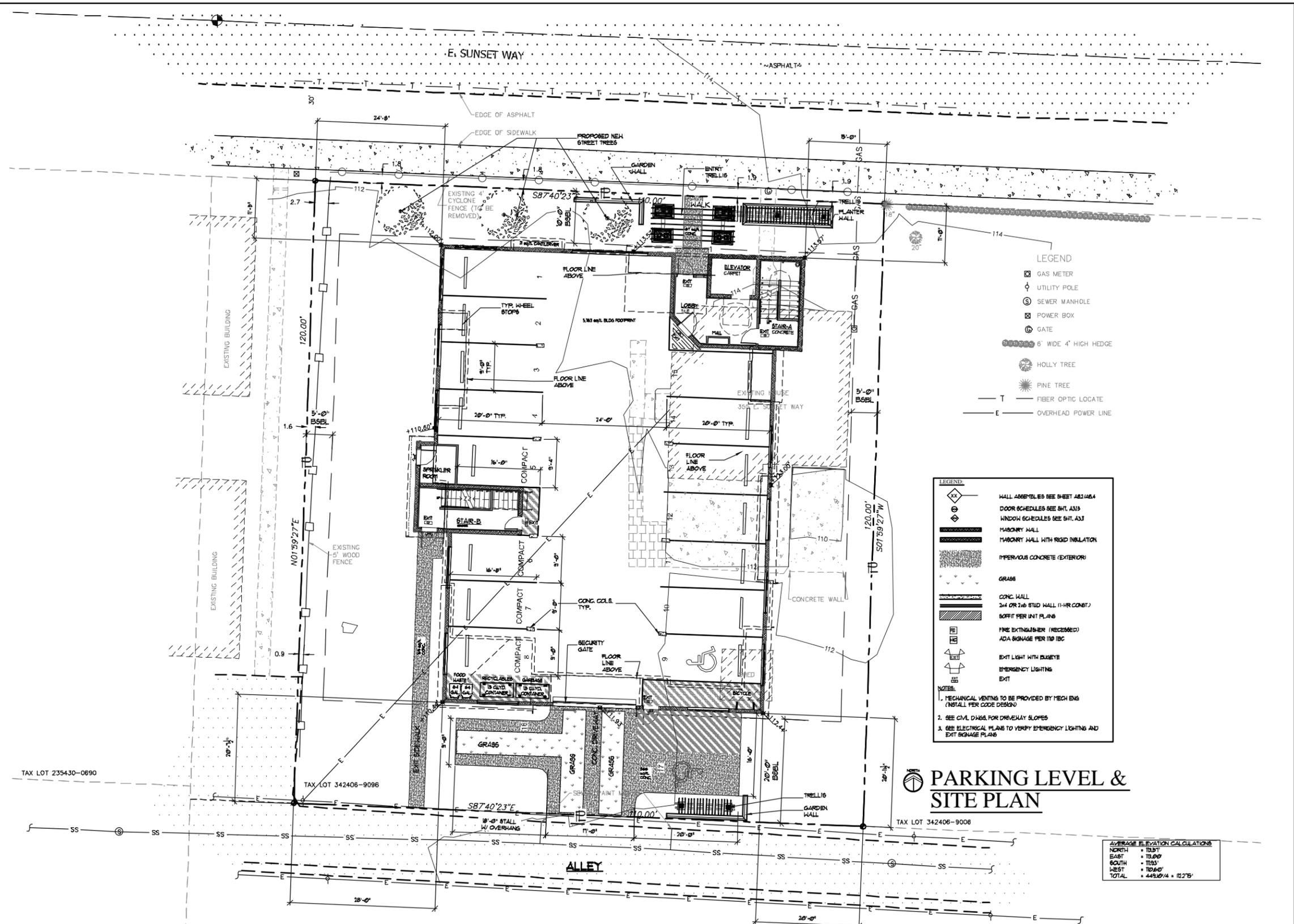
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

UNIT SUMMARY

DWELLING UNITS ALLOWED 18.07.360 TABLE 1
 29 DU / 0.303 ACRES = 8.787 UNITS

UNIT NAME	UNIT DESCRIPTION	UNIT COUNT	AREA	TOTAL UNIT AREA
U031-HC	1 BEDRM + DEN + 1 BATH	1	1,031 SQ. FT.	1,031 SQ. FT.
U031	1 BEDRM + DEN + 1 BATH	2	1,031 SQ. FT.	2,062 SQ. FT.
U118(1)	2 BEDRM + DEN + 2 BATH	1	1,418 SQ. FT.	1,418 SQ. FT.
U118(2)	2 BEDRM + DEN + 2 BATH	1	1,418 SQ. FT.	1,418 SQ. FT.
U153	3 BEDRM + 2 BATH	1	1,553 SQ. FT.	1,553 SQ. FT.
U153	3 BEDRM + 2 BATH	2	1,553 SQ. FT.	3,106 SQ. FT.
TOTAL		8 UNITS		10,666 SQ. FT.

TYPE 'A' ACCESSIBLE UNITS	1 UNIT (PER 2012 IBC TABLE 107.1.1)
TYPE 'B' ACCESSIBLE UNITS	1 UNIT (PER 2012 IBC 107.1.2)



LEGEND

- GAS METER
- UTILITY POLE
- SEWER MANHOLE
- POWER BOX
- GATE
- 6' WIDE 4' HIGH HEDGE
- HOLLY TREE
- PINE TREE
- FIBER OPTIC LOCATE
- OVERHEAD POWER LINE

LEGEND

- WALL ASSEMBLY SEE SHEET A02/A04
- DOOR SCHEDULES SEE SHT. A33
- WINDOW SCHEDULES SEE SHT. A33
- MASONRY WALL
- MASONRY WALL WITH RIGID INSULATION
- IMPERVIOUS CONCRETE (EXTERIOR)
- GRASS
- CONC. WALL
- 2x4 OR 2x6 STUD WALL (1-HR. COMB.)
- SOFFIT PER UNIT PLANS
- FIRE EXTINGUISHER (RECESSED)
- ADA SIGNAGE PER 110 IBC
- EXIT LIGHT WITH BATTERY
- EMERGENCY LIGHTING
- EXIT

NOTES:

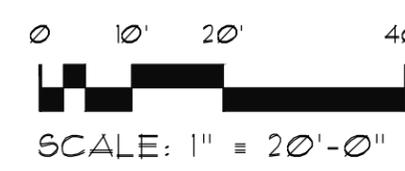
- MECHANICAL VENTING TO BE PROVIDED BY MECH ENG (INSTALL PER CODE DESIGN)
- SEE CIVIL DIAGS FOR DRIVEWAY SLOPES
- SEE ELECTRICAL PLANS TO VERIFY EMERGENCY LIGHTING AND EXIT SIGNAGE PLANS

PARKING LEVEL & SITE PLAN

TAX LOT 235430-0690 TAX LOT 342406-9096 TAX LOT 342406-9096

AVERAGE ELEVATION CALCULATIONS

NORTH	= 13.07'
EAST	= 13.00'
SOUTH	= 13.93'
WEST	= 13.60'
TOTAL	= 44.60' / 4 = 11.25'



ISSAQUAH APARTMENTS
 PROJECT ADDRESS: 355 E. SUNSET WAY
 ISSAQUAH, WASHINGTON
 CLIENT: WHICH IS PROMISE, LLC
 13530 SE 51ST STREET
 ISSAQUAH, WA 98021
 CONTACT: DJ. LOVERIDGE

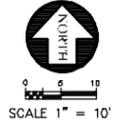
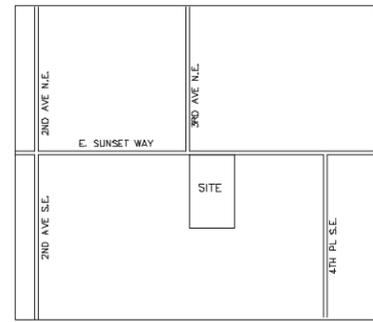
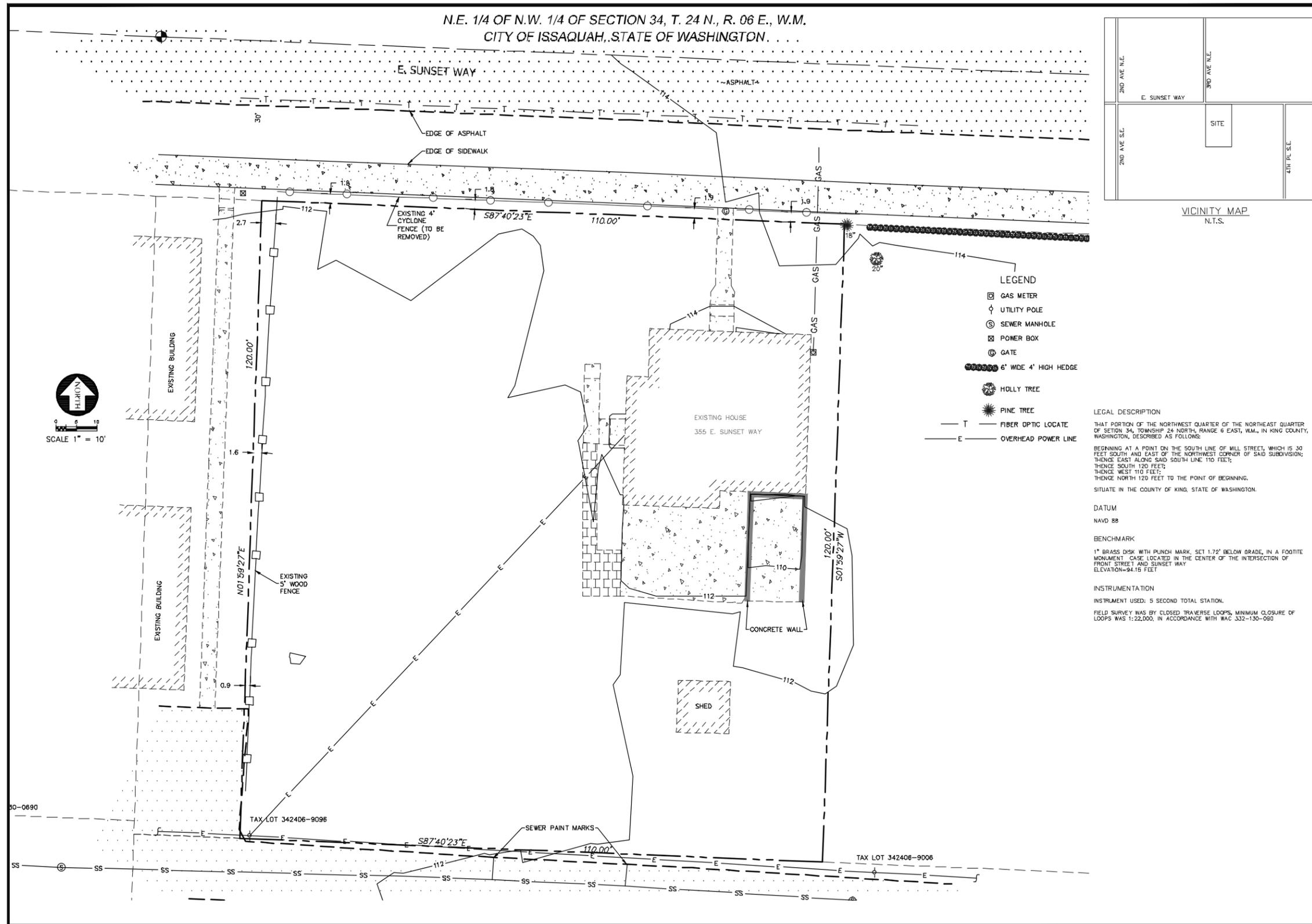
PROPOSED SITE PLAN

DATE: 02-12-15
 SHEET NUMBER 4 OF 16
 SCALE: 1" = 20'-0"

JOB # X1422-12 IBC MF-ISSAQUAH/ISSAQUAH APARTMENTS/SHEETS/2.1 PRELIMINARY SITE PLAN AND BUILDING PLANS

1604 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921
 E-mail: OFFICE@GMSARCH.COM Architecture ♦ Design ♦ Planning ♦

GMS
 Architectural Group
 Architecture • Design • Planning
 © GMS 2015



- LEGEND**
- ☐ GAS METER
 - ⊕ UTILITY POLE
 - ⊙ SEWER MANHOLE
 - ⊞ POWER BOX
 - ⊕ GATE
 - ▬ 6' WIDE 4' HIGH HEDGE
 - ⊙ HOLLY TREE
 - ⊙ PINE TREE
 - T — FIBER OPTIC LOCATE
 - E — OVERHEAD POWER LINE

LEGAL DESCRIPTION
 THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE SOUTH LINE OF MILL STREET, WHICH IS 30 FEET SOUTH AND EAST OF THE NORTHWEST CORNER OF SAID SUBDIVISION; THENCE EAST ALONG SAID SOUTH LINE 110 FEET; THENCE SOUTH 120 FEET; THENCE WEST 110 FEET; THENCE NORTH 120 FEET TO THE POINT OF BEGINNING. SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

DATUM
 NAVD 88

BENCHMARK
 1" BRASS DISK WITH PUNCH MARK, SET 1.72" BELOW GRADE, IN A FOOTITE MONUMENT CASE LOCATED IN THE CENTER OF THE INTERSECTION OF FRONT STREET AND SUNSET WAY ELEVATION=94.15 FEET

INSTRUMENTATION
 INSTRUMENT USED: 5 SECOND TOTAL STATION.

FIELD SURVEY WAS BY CLOSED TRANSVERSE LOOPS, MINIMUM CLOSURE OF LOOPS WAS 1:22,000, IN ACCORDANCE WITH WAC 332-130-090

REVISIONS	BY	DATE

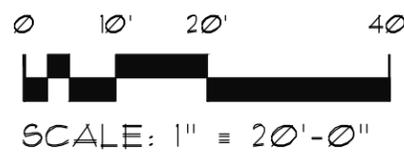


BOUNDARY/TOPOGRAPHY PLAN

DJ LOVERIDGE
355 E. SUNSET WAY

encompas
 ENGINEERING & SURVEYING
 Western Washington Division
 165 NE Juniper Street, Suite 201 • Issaquah, WA 98027
 • Phone: (425) 392-0350 • Fax: (425) 391-3055
 Eastern Washington Division
 108 E. Washington Drive, Wenatchee, WA 98822
 • Phone: (509) 874-7433 • Fax: (509) 874-7419

JOB NO.	14642
DATE	9/24/14
SCALE	1" = 10'
DESIGNED	WSH
DRAWN	JEF
CHECKED	WSH
APPROVED	WSH
SHEET	1 OF 1



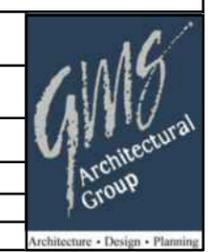
ISSAQUAH APARTMENTS
 PROJECT ADDRESS: 355 E. SUNSET WAY
 ISSAQUAH, WASHINGTON
 CLIENT: WHICH IS PROMISE, LLC
 13530 9E 51ST STREET
 ISSAQUAH, WA 98027
 CONTACT: DJ LOVERIDGE

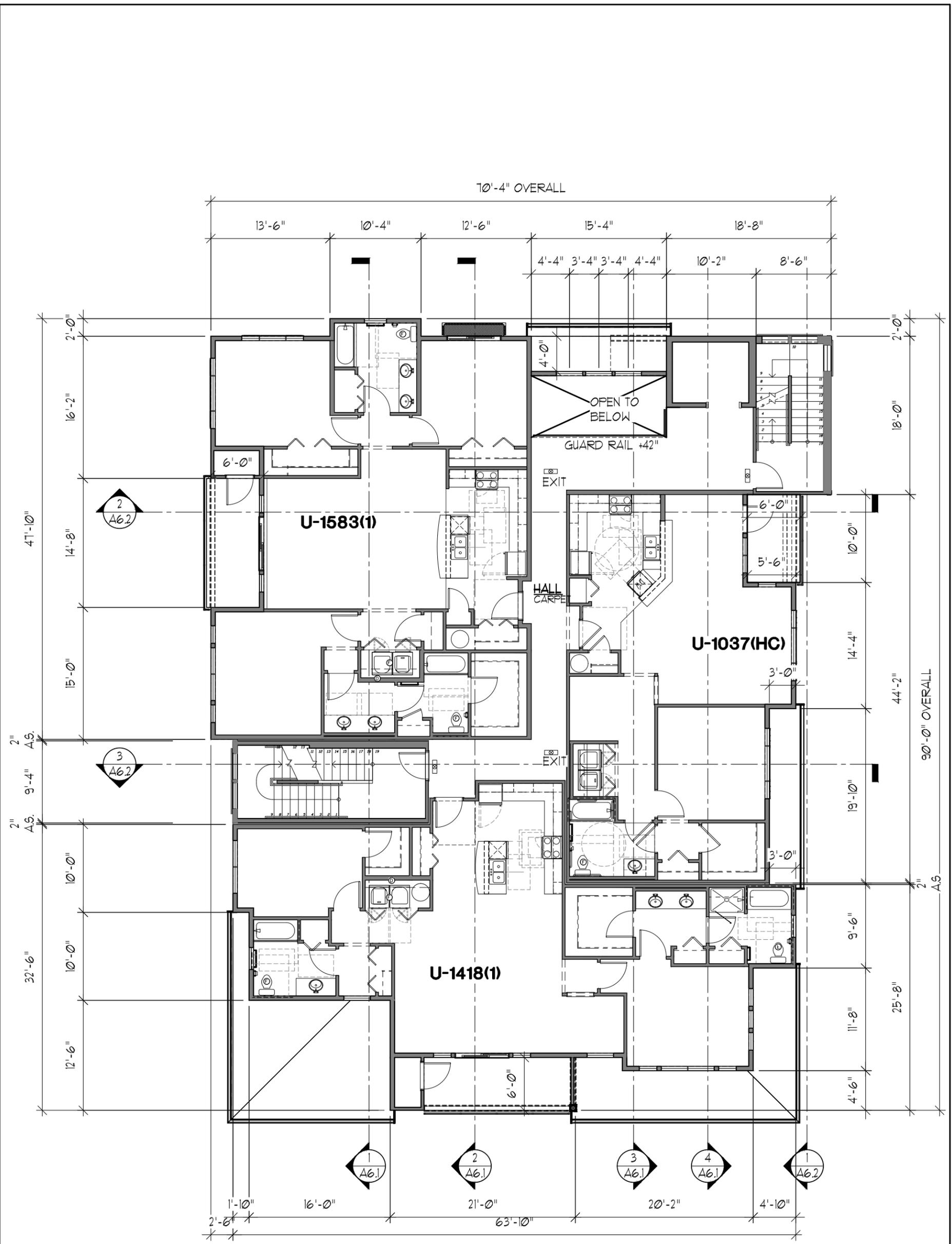
SURVEY

DATE: 2/5/2015
 SHEET NUMBER: 5 OF 16
 SCALE: 1" = 20'-0"

JOB # X\1422_12_IBC_MF-ISSAQUAH-ISSAQUAH APARTMENTS\SHEETS\1 OF 1 SURVEY

1604 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921
 E-mail: OFFICE@GMSARCH.COM Architecture ♦ Design ♦ Planning ♦

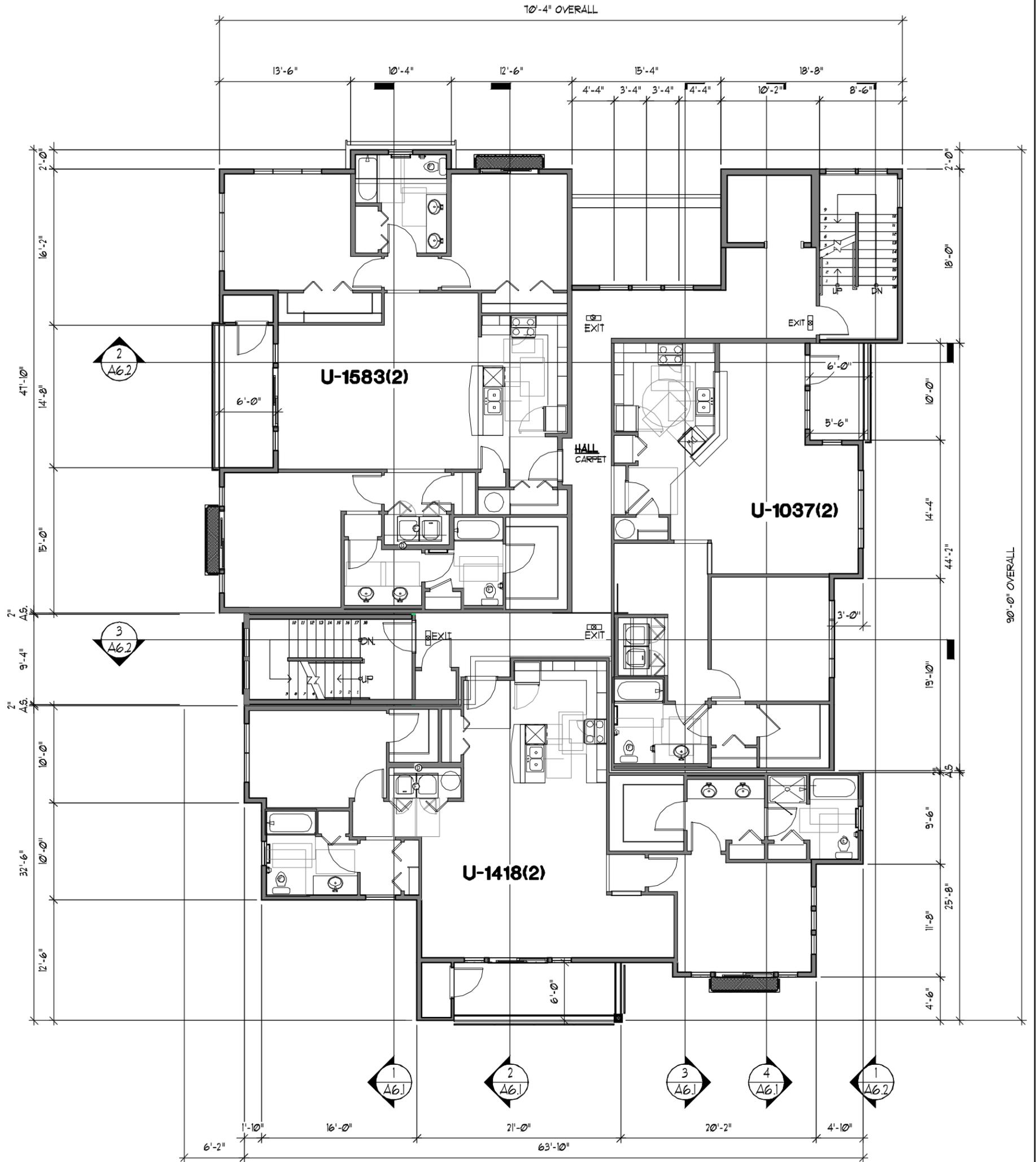




FIRST FLOOR BUILDING PLAN

<p>ISSAQUAH APARTMENTS PROJECT ADDRESS: 355 E. SUNSET WAY ISSAQUAH, WASHINGTON</p> <p>CLIENT: WHICH IS PROMISE, LLC 19538 SE 51ST STREET ISSAQUAH, WA 98027</p> <p>CONTACT: D.J. LOVERIDGE</p>	<p>PRE-APP_FIRST FLOOR PLAN</p> <p>DATE: 02-12-15 SHEET NUMBER: 7 OF 16 SCALE: 3/32" = 1'-0"</p>	
<p>JOB #: X\1422_12_IBC_MF-ISSAQUAH\ISSAQUAH APARTMENTS\SHEETS\4.1 GARAGE AND FIRST FLOOR BUILDING PLAN</p>		
<p>1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921</p>		
<p>E-mail: OFFICE@GMSARCH.COM Architecture ♦ Design ♦ Planning ♦</p>		





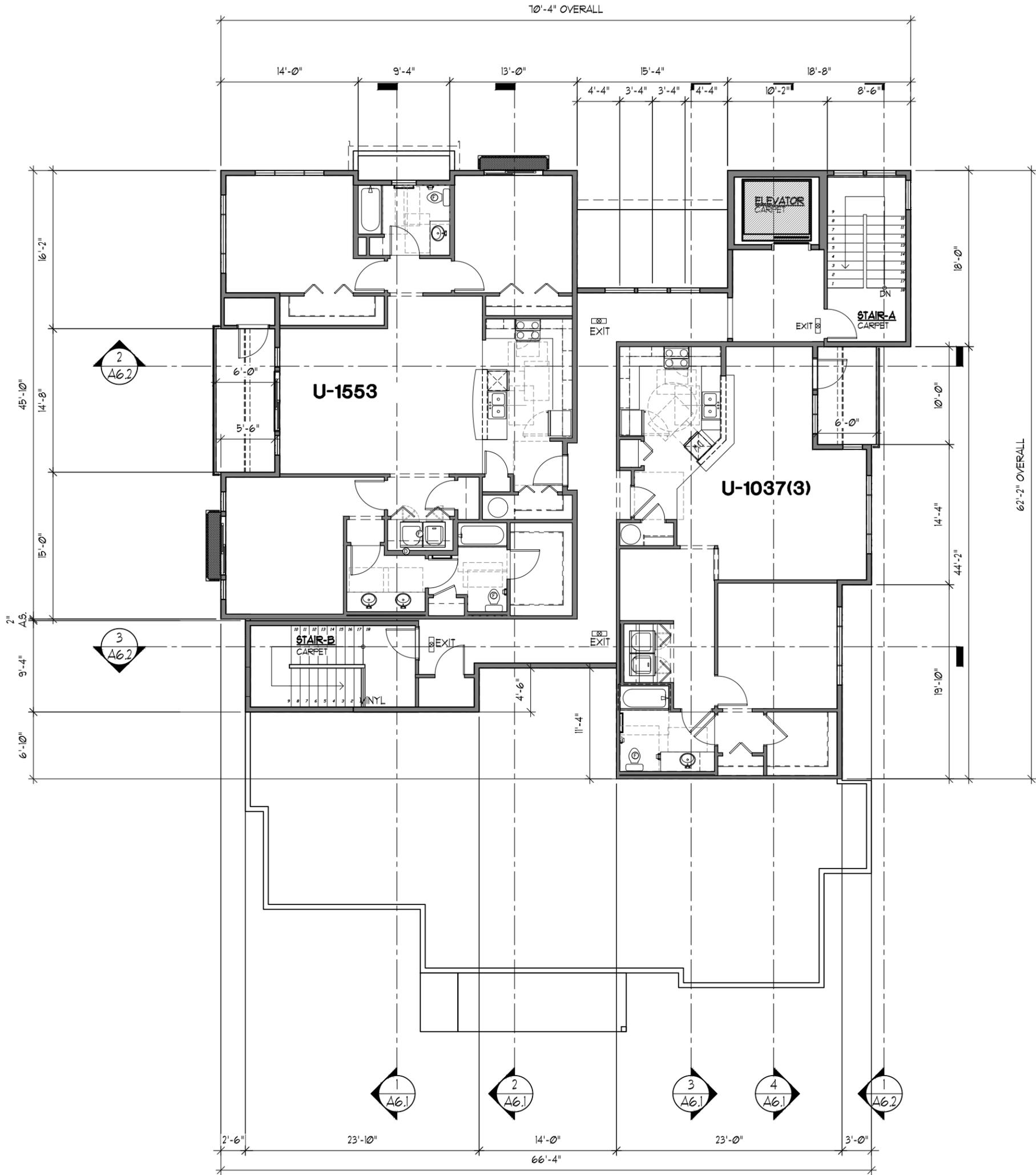
SECOND FLOOR BUILDING PLAN

ISSAQUAH APARTMENTS
 PROJECT ADDRESS: 355 E. SUNSET WAY
 ISSAQUAH, WASHINGTON
 CLIENT: WHICH IS PROMISE, LLC
 15538 9E 51ST STREET
 ISSAQUAH, WA 98021
 CONTACT: D.J. LOVERIDGE

PRE-APP_SECOND FLOOR PLAN
 DATE: 02-12-15
 SHEET NUMBER: 8 OF 16
 SCALE: 3/32" = 1'-0"
 JOB # XA1422_12 IBC_MF-ISSAQUAH/ISSAQUAH APARTMENTS/SHEETS/4.2 SECOND AND THIRD FLOOR BUILDING PLAN

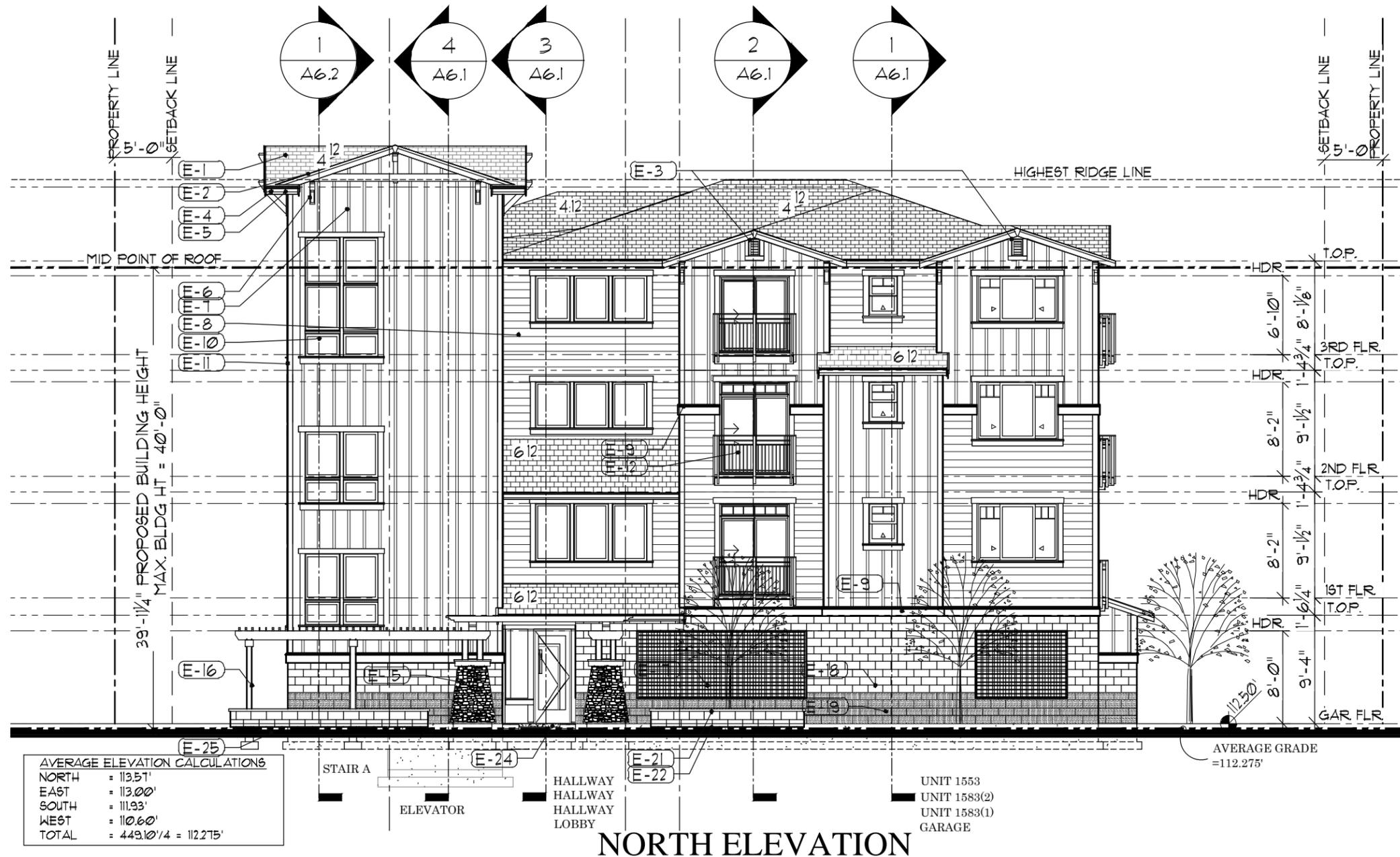
1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921
 E-mail: OFFICE@GMSARCH.COM





THIRD FLOOR BUILDING PLAN

<p>ISSAQUAH APARTMENTS PROJECT ADDRESS: 355 E. SUNSET WAY ISSAQUAH, WASHINGTON</p> <p>CLIENT: WHICH IS PROMISE, LLC 19538 SE 51ST STREET ISSAQUAH, WA 98027</p> <p>CONTACT: D.J. LOVERIDGE</p>	<p>PRE-APP_THIRD FLOOR PLAN</p> <p>JOB # X\1422_12 IBC_MF-ISSAQUAH\ISSAQUAH APARTMENTS\SHEETS\4.2 SECOND AND THIRD FLOOR BUILDING PLAN</p>	<p>DATE: 02-12-15</p> <p>SHEET NUMBER 9 OF 16</p> <p>SCALE: 3/32" = 1'-0"</p>	
<p>1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921</p> <p>E-mail: OFFICE@GMSARCH.COM Architecture ♦ Design ♦ Planning ♦</p>			<p>Architecture • Design • Planning © GMS 2015</p>



NORTH ELEVATION

ELEVATION NOTES

(E-1) ASPHALT COMP SHINGLES, VERIFY COLOR W/BUILDER	(E-6) BRACKET (KNEE BRACING) PER DETAIL	(E-10) DBL GLAZED WINDOWS PER WASH. STATE ENERGY STANDARDS, PROVIDE ALL "U" VALUES. WINDOW WRAP 6" WIDTH WOOD TRIM, HEAD AND JAMBS 2x3 SILL, SLOPED TO DRAIN OVER 6" WIDE WOOD TRIM	(E-14) OPEN	(E-17) GARAGE OPENING WITH ANODIZED WIRE FABRIC COLOR TO BE DETERMINED	(E-21) CONCRETE CAP	(E-25) FINISH GRADE PER SITE PLAN
(E-2) 5/4x8 BARGE BOARD W/6x3 TRIM • GABLE ENDS W/ 5/4x KEYBLOCK	(E-7) BOARD & BATTEN SIDING 16" HARDIE PANELS W/1x3" BATTS SPACED @16" O.C. VERIFY COLOR W/ BUILDER	(E-11) 5/4"x6 CORNER TRIMS	(E-15) 6x6 P.T. POST W/ TAPERED WRAP AND STONE VENEER BASE, INSTALL PER MANUF. SPECS. VERIFY COLOR AND PATTERN WITH BUILDER W/ 4x10 BEAM & 2x4'S @ 12" O.C. PER DETAIL	(E-18) SMOOTH FACE CONCRETE COLOR	(E-22) CMU SMOOTH FACE GARDEN WALL OR PLANTER COLOR, HEIGHT:	(E-26)
(E-3) 12x18 GABLE END VENT (NON-OPERABLE) 4" WIDTH WOOD TRIM, HEAD AND JAMBS 4" WIDTH WOOD TRIM • SILL	(E-8) "HARDIBOARD" BEVELED SIDING W/ 8" EXPOSURE PER ELEV. INSTALL PER MFR SPECS. VERIFY COLOR W/BUILDER	(E-12) METAL JULIET BALCONY ATTACHED TO WALL PER	(E-16) TRELLIS • ENTRY P.T. 6x6 POST W/ 4x10 BEAM & 2x4'S @ 12" O.C. PER DETAIL	(E-19) SMOOTH FACE CONCRETE COLOR	(E-23) OPEN	(E-27)
(E-4) 5/4x8 FASCIA BOARD • EAVES	(E-9) 2x10 BAND BD. VERIFY COLOR W/ BUILDER. FLASH @ TOP CONT.	(E-13) OPEN		(E-20) OPEN	(E-24) CONCRETE SIDEWALK/ DRIVEWAY	
(E-5) PRIME & PAINT CONTINUOUS MTL. GUTTER AND DOWNSPOUTS						

ISSAQUAH APARTMENTS

PROJECT ADDRESS: 355 E. SUNSET WAY
ISSAQUAH, WASHINGTON

CLIENT: WHICH IS PROMISE, LLC
13530 SE 51ST STREET
ISSAQUAH, WA 98021

CONTACT: D.J. LOVERIDGE

PRE-APP NORTH ELEVATIONS

DATE:
02-12-15

SHEET NUMBER
10 OF 16

SCALE
3/32" = 1'-0"

JOB # X:\1422_12 IQG_MF-ISSAQUAH\ISSAQUAH APARTMENTS\SHEETS\PRE-APP SUBMISSION\6.1 BUILDING ELEVATIONS

1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921

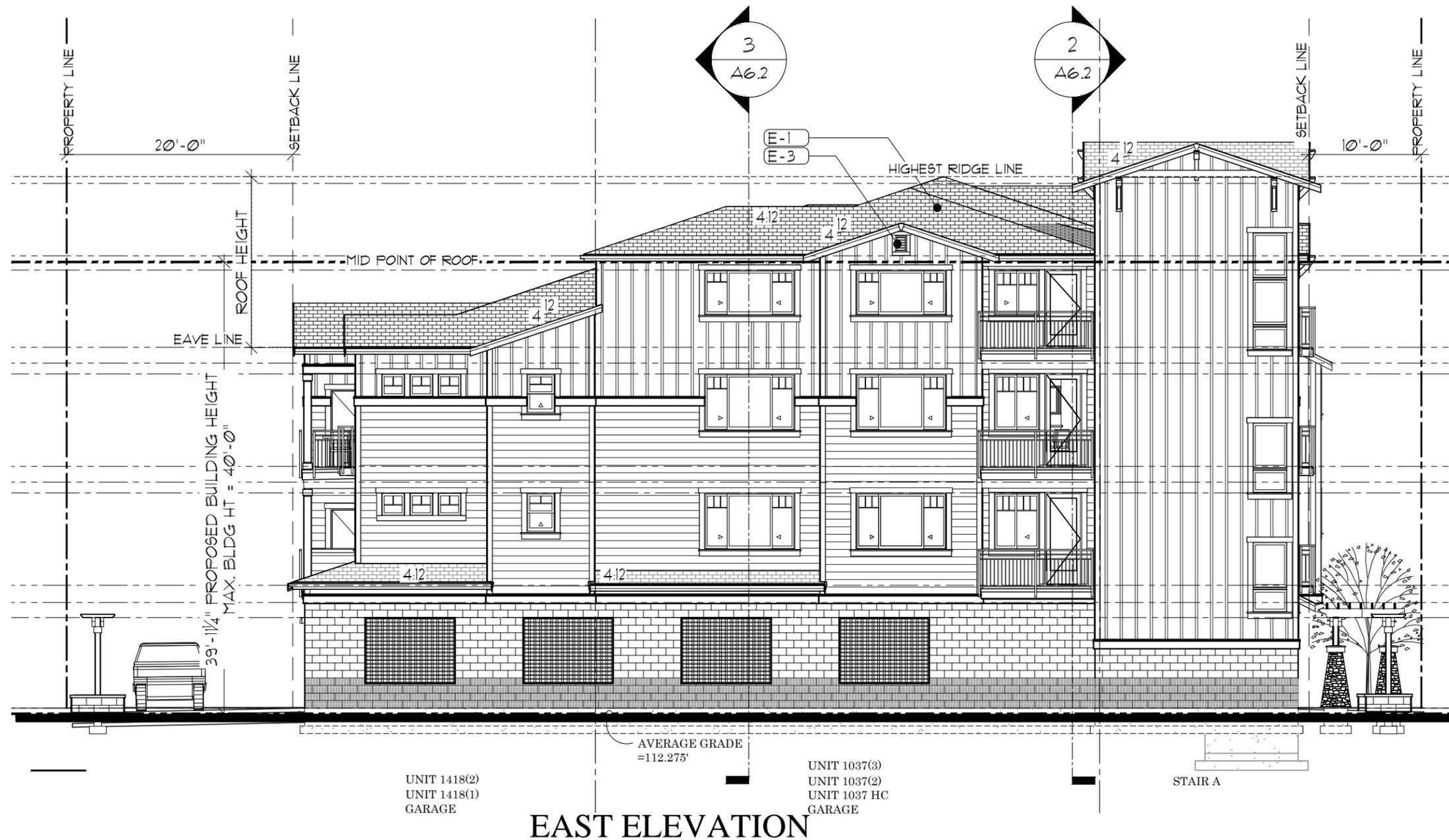
E-mail: OFFICE@GMSARCH.COM

Architecture ♦ Design ♦ Planning ♦



Architecture ♦ Design ♦ Planning ♦

© GMS 2015

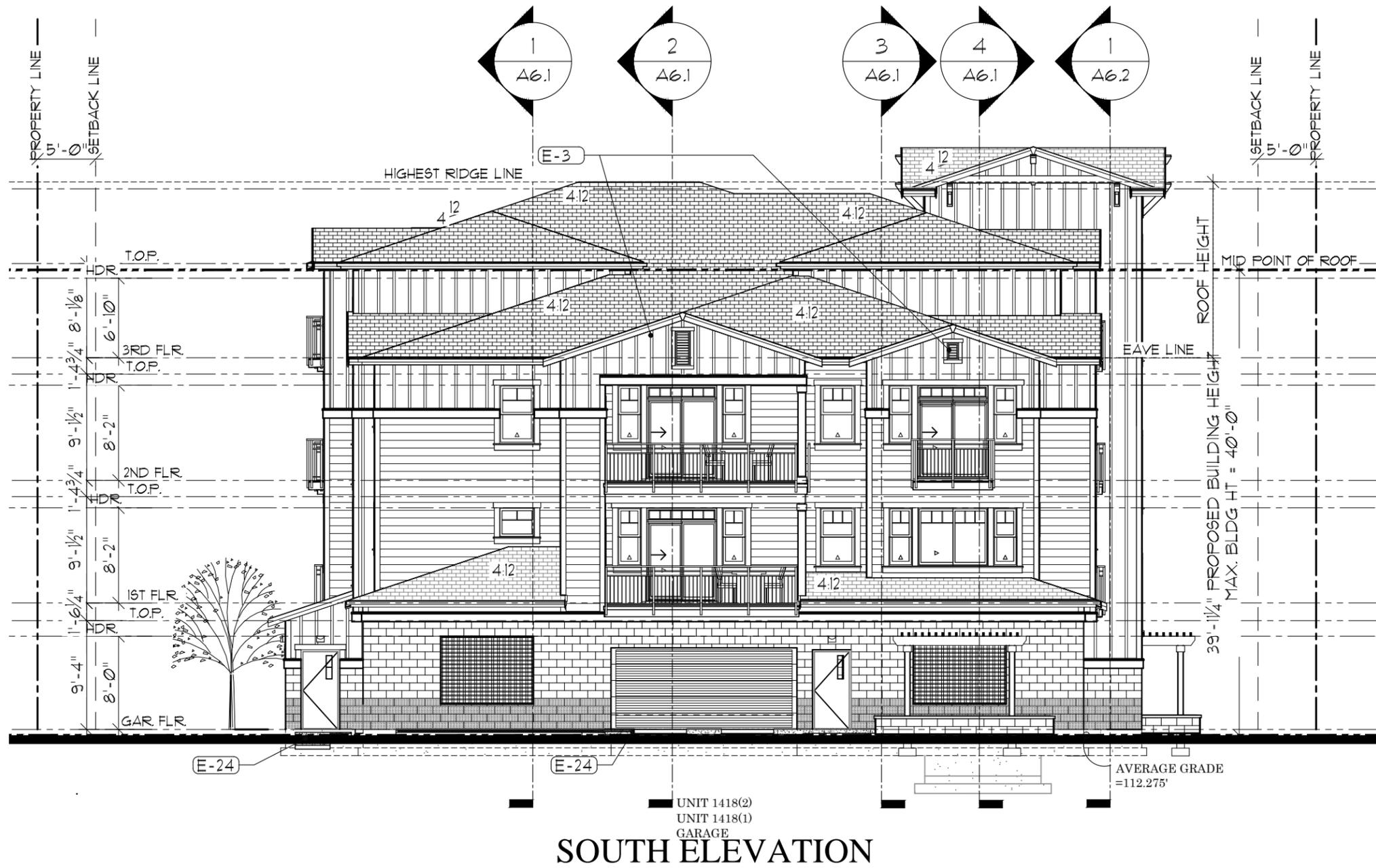


EAST ELEVATION

ELEVATION NOTES						
(E-1) ASPHALT COMP SHINGLES, VERIFY COLOR w/BUILDER	(E-6) BRACKET (KNEE BRACING) PER DETAIL	(E-10) DBL GLAZED WINDOWS PER WASH. STATE ENERGY STANDARDS, PROVIDE ALL "U" VALUES, WINDOW WRAP 6" WIDTH WOOD TRIM, HEAD AND JAMBS 2x3 SILL, SLOPED TO DRAIN OVER 6" WIDE WOOD TRIM	(E-14) OPEN	(E-17) GARAGE OPENING WITH ANODIZED WIRE FABRIC COLOR TO BE DETERMINED	(E-21) CONCRETE CAP	(E-25) FINISH GRADE PER SITE PLAN
(E-2) 5/4x8 BARGE BOARD w/1x3 TRIM • GABLE ENDS w/ 5/4x KEYBLOCK	(E-7) BOARD & BATTEN SIDING 16" HARDIE PANELS w/1x3" BATTS SPACED @16" O.C. VERIFY COLOR w/ BUILDER	(E-11) 5/4"x6 CORNER TRIMS	(E-15) 6x6 P.T. POST w/ TAPERED WRAP AND STONE VENEER BASE, INSTALL PER MANUF. SPECS, VERIFY COLOR AND PATTERN WITH BUILDER w/ 4x10 BEAM & 2x4'S @ 12" O.C. PER DETAIL	(E-18) SMOOTH FACE CONCRETE COLOR:	(E-22) CMU SMOOTH FACE GARDEN WALL OR PLANTER COLOR: HEIGHT:	(E-26)
(E-3) 12x18 GABLE END VENT (NON-OPERABLE) 4" WIDTH WOOD TRIM, HEAD AND JAMBS 4" WIDTH WOOD TRIM • SILL	(E-8) "HARDIBOARD" BEVELED SIDING w/ 8" EXPOSURE PER ELEV. INSTALL PER MFR SPECS, VERIFY COLOR w/BUILDER	(E-12) METAL JULIET BALCONY ATTACHED TO WALL PER	(E-16) TRELLIS • ENTRY P.T. 6x6 POST w/ 4x10 BEAM & 2x4'S @ 12" O.C. PER DETAIL	(E-19) SMOOTH FACE CONCRETE COLOR:	(E-23) OPEN	(E-27)
(E-4) 5/4x8 FASCIA BOARD • EAVES	(E-9) 2x10 BAND BD. VERIFY COLOR w/ BUILDER. FLASH @ TOP CONT.	(E-13) OPEN		(E-20) OPEN	(E-24) CONCRETE SIDEWALK/ DRIVEWAY	
(E-5) PRIME & PAINT CONTINUOUS MTL. GUTTER AND DOWNSPOUTS						

ISSAQUAH APARTMENTS PROJECT ADDRESS: 355 E. SUNSET WAY ISSAQUAH, WASHINGTON CLIENT: WHICH IS PROMISE, LLC 19538 SE 51ST STREET ISSAQUAH, WA 98021 CONTACT: D.J. LOVERIDGE	PRE-APP EAST ELEVATIONS	DATE: 02-12-15
		SHEET NUMBER 11 OF 16
1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921 E-mail: OFFICE@GMSARCH.COM Architecture ♦ Design ♦ Planning ♦		SCALE: 3/32" = 1'-0" JOB # X:\1422_12_IBG_MF-ISSAQUAH\ISSAQUAH APARTMENTS\SHEETS\PRE-APP SUBMISSION\5.1 BUILDING ELEVATIONS





UNIT 1418(2)
UNIT 1418(1)
GARAGE
SOUTH ELEVATION

ELEVATION NOTES					
(E-1) ASPHALT COMP SHINGLES, VERIFY COLOR w/BUILDER	(E-6) BRACKET (KNEE BRACING) PER DETAIL	(E-10) DBL GLAZED WINDOWS PER WASH. STATE ENERGY STANDARDS, PROVIDE ALL "U" VALUES. WINDOW WRAP 6" WIDTH WOOD TRIM, HEAD AND JAMBS 2x3 SILL, SLOPED TO DRAIN OVER 6" WIDE WOOD TRIM	(E-14) OPEN	(E-17) GARAGE OPENING WITH ANODIZED WIRE FABRIC COLOR TO BE DETERMINED	(E-21) CONCRETE CAP
(E-2) 5/4x8 BARGE BOARD w/1x3 TRIM • GABLE ENDS w/ 5/4x KEYBLOCK	(E-7) BOARD & BATTEN SIDING 16" HARDIE PANELS w/1"x3" BATTs SPACED @16" O.C. VERIFY COLOR w/ BUILDER	(E-11) 5/4"x6 CORNER TRIMS	(E-15) 6x6 P.T. POST w/ TAPERED WRAP AND STONE VENEER BASE, INSTALL PER MANUF. SPECS, VERIFY COLOR AND PATTERN WITH BUILDER w/ 4x10 BEAM & 2x4'S @ 12" O.C. PER DETAIL	(E-18) SMOOTH FACE CONCRETE COLOR.	(E-22) CMU SMOOTH FACE GARDEN WALL OR PLANTER COLOR: HEIGHT:
(E-3) 12x18 GABLE END VENT (NON-OPERABLE) 4" WIDTH WOOD TRIM, HEAD AND JAMBS 4" WIDTH WOOD TRIM • SILL	(E-8) "HARDIBOARD" BEVELED SIDING w/ 8" EXPOSURE PER ELEV. INSTALL PER MFR SPECS, VERIFY COLOR w/BUILDER	(E-12) METAL JULIET BALCONY ATTACHED TO WALL PER	(E-16) TRELLIS @ ENTRY P.T. 6x6 POST w/ 4x10 BEAM & 2x4'S @ 12" O.C. PER DETAIL	(E-19) SMOOTH FACE CONCRETE COLOR.	(E-23) OPEN
(E-4) 5/4x8 FASCIA BOARD • EAVES	(E-9) 2x10 BAND BD. VERIFY COLOR w/ BUILDER. FLASH @ TOP CONT.	(E-13) OPEN		(E-20) OPEN	(E-24) CONCRETE SIDEWALK/ DRIVEWAY
(E-5) PRIME & PAINT CONTINUOUS MTL. GUTTER AND DOWNSPOUTS					(E-25) FINISH GRADE PER SITE PLAN

ISSAQUAH APARTMENTS PROJECT ADDRESS: 355 E. SUNSET WAY ISSAQUAH, WASHINGTON CLIENT: WHICH IS PROMISE, LLC 19538 SE 51ST STREET ISSAQUAH, WA 98021 CONTACT: D.J. LOVERIDGE	PRE-APP SOUTH ELEVATIONS	DATE: 02-12-15
		SHEET NUMBER 12 OF 16
1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921 E-mail: OFFICE@GMSARCH.COM Architecture ♦ Design ♦ Planning ♦		SCALE: 3/32" = 1'-0"
JOB # X:\1422_12_IBG_MF-ISSAQUAH\ISSAQUAH APARTMENTS\SHEETS\PRE-APP SUBMISSION\5.1 BUILDING ELEVATIONS		

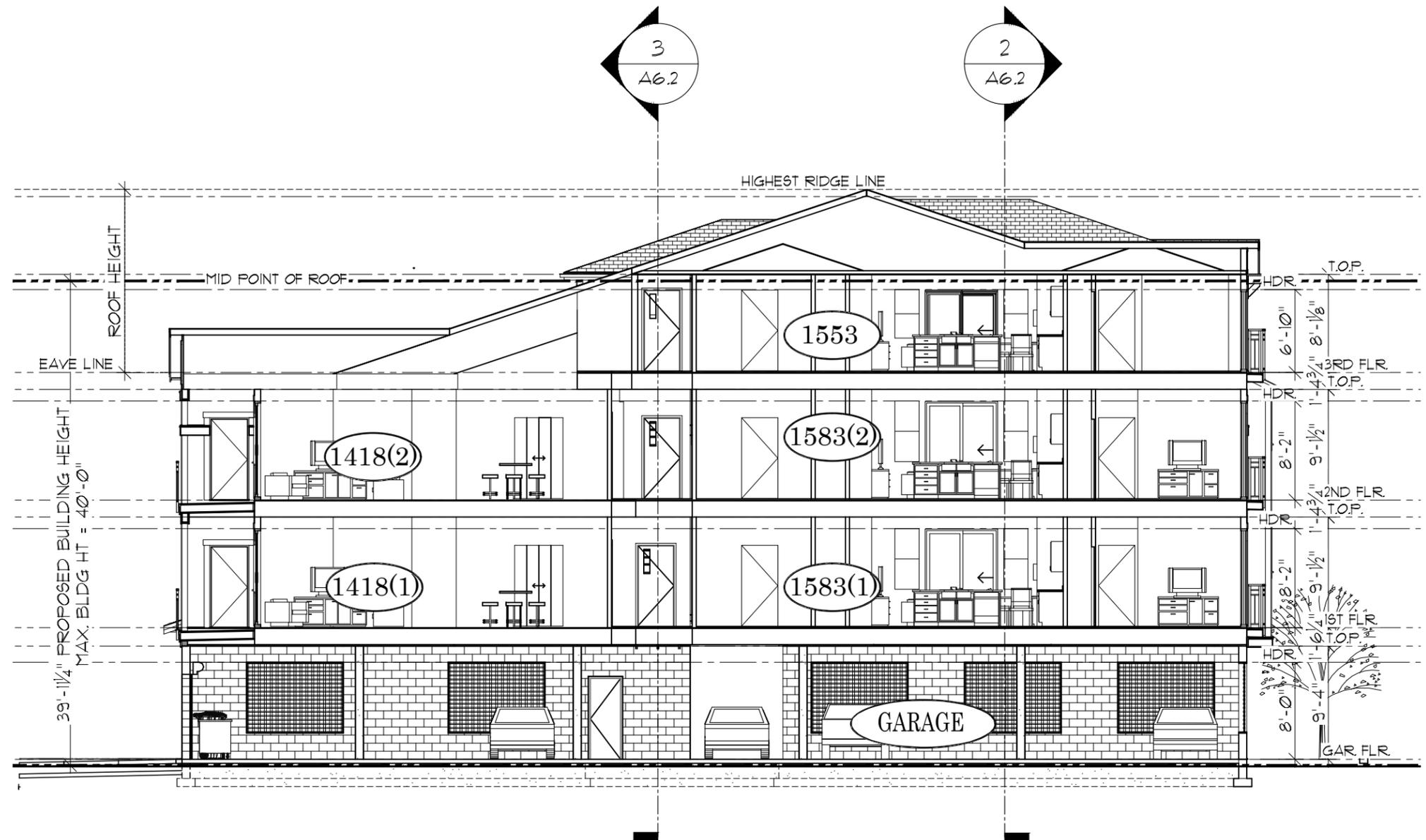


WEST ELEVATION

ELEVATION NOTES						
(E-1) ASPHALT COMP SHINGLES, VERIFY COLOR w/BUILDER	(E-6) BRACKET (KNEE BRACING) PER DETAIL	(E-10) DBL GLAZED WINDOWS PER WASH. STATE ENERGY STANDARDS, PROVIDE ALL "U" VALUES, WINDOW WRAP	(E-14) OPEN	(E-17) GARAGE OPENING WITH ANODIZED WIRE FABRIC COLOR TO BE DETERMINED	(E-21) CONCRETE CAP	(E-25) FINISH GRADE PER SITE PLAN
(E-2) 5/4x8 BARGE BOARD w/1x3 TRIM @ GABLE ENDS w/ 5/4x KEYBLOCK	(E-7) BOARD & BATTEN SIDING 16" HARDIE PANELS w/1"x3" BATTS SPACED @16" O.C. VERIFY COLOR w/ BUILDER	(E-11) 5/4"x6" CORNER TRIMS	(E-15) 6x6 P.T. POST w/ TAPERED WRAP AND STONE VENEER BASE, INSTALL PER MANUF. SPECS, VERIFY COLOR AND PATTERN WITH BUILDER w/ 4x10 BEAM & 2x4'S @ 12" O.C. PER DETAIL	(E-18) SMOOTH FACE CONCRETE COLOR	(E-22) CMU SMOOTH FACE GARDEN WALL OR PLANTER COLOR, HEIGHT:	(E-26)
(E-3) 12x18 GABLE END VENT (NON-OPERABLE) 4" WIDTH WOOD TRIM, HEAD AND JAMBS 4" WIDTH WOOD TRIM @ SILL	(E-8) "HARDIBOARD" BEVELED SIDING w/ 8" EXPOSURE PER ELEV. INSTALL PER MFR SPECS, VERIFY COLOR w/BUILDER	(E-12) METAL JULIET BALCONY ATTACHED TO WALL PER	(E-16) TRELLIS @ ENTRY P.T. 6x6 POST w/ 4x10 BEAM & 2x4'S @ 12" O.C. PER DETAIL	(E-19) SMOOTH FACE CONCRETE COLOR	(E-23) OPEN	(E-27)
(E-4) 5/4x8 FASCIA BOARD @ EAVES	(E-9) 2x10 BAND BD. VERIFY COLOR w/ BUILDER. FLASH @ TOP CONT.	(E-13) OPEN		(E-20) OPEN	(E-24) CONCRETE SIDEWALK/ DRIVEWAY	
(E-5) PRIME & PAINT CONTINUOUS MTL. GUTTER AND DOWNSPOUTS						

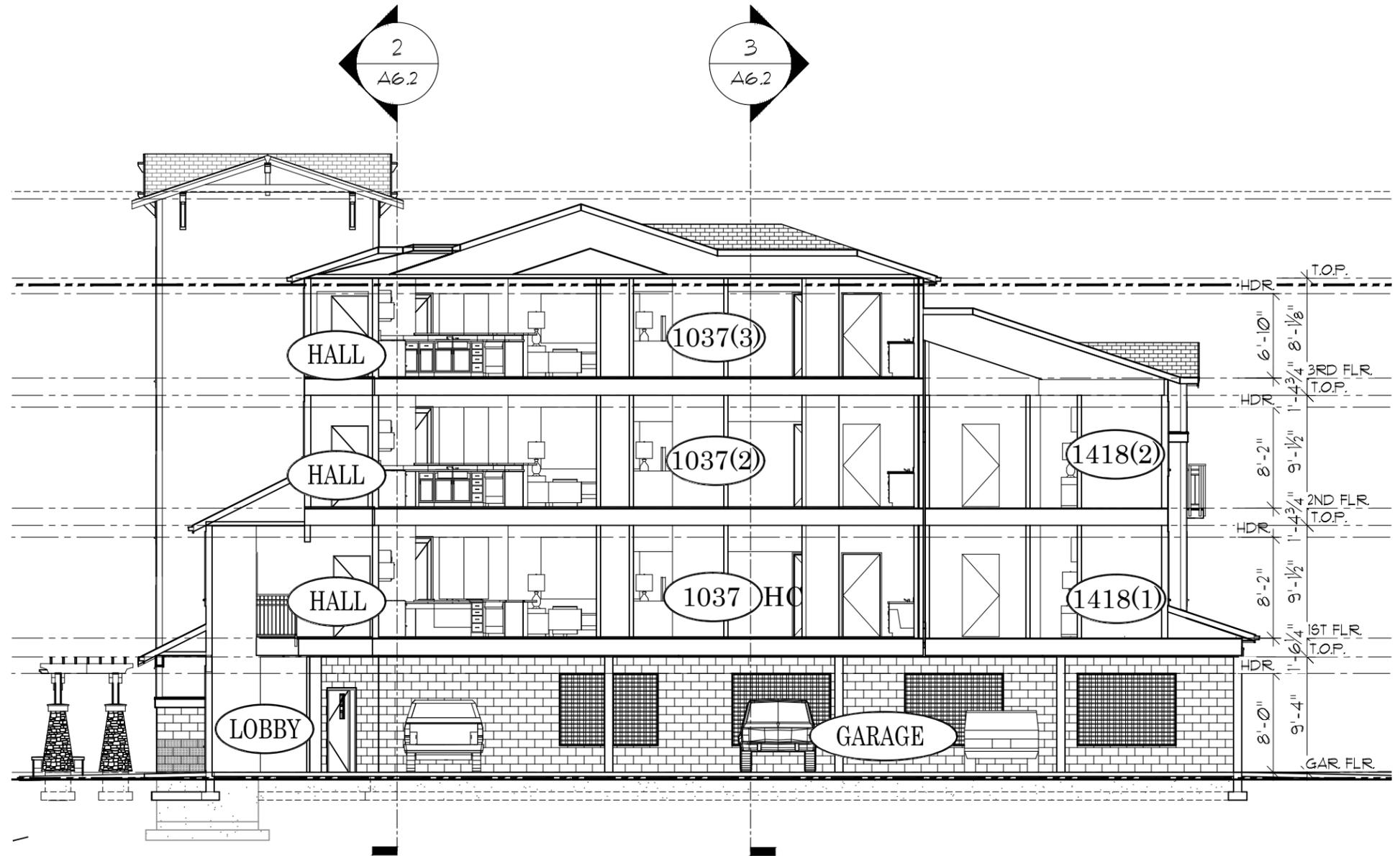
<p style="text-align: center;">ISSAQUAH APARTMENTS PROJECT ADDRESS: 355 E. SUNSET WAY ISSAQUAH, WASHINGTON</p> <p style="text-align: center;">CLIENT: WHICH IS PROMISE, LLC 19538 SE 51ST STREET ISSAQUAH, WA 98021</p> <p>CONTACT: D.J. LOVERIDGE</p>	<p style="text-align: center;">PRE-APP WEST ELEVATIONS</p>	<p>DATE: 02-12-15</p> <p>SHEET NUMBER 13 OF 16</p> <p>SCALE: 3/32" = 1'-0"</p>
<p style="text-align: center;">1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921</p> <p style="text-align: center;">E-mail: OFFICE@GMSARCH.COM Architecture ♦ Design ♦ Planning ♦</p>		





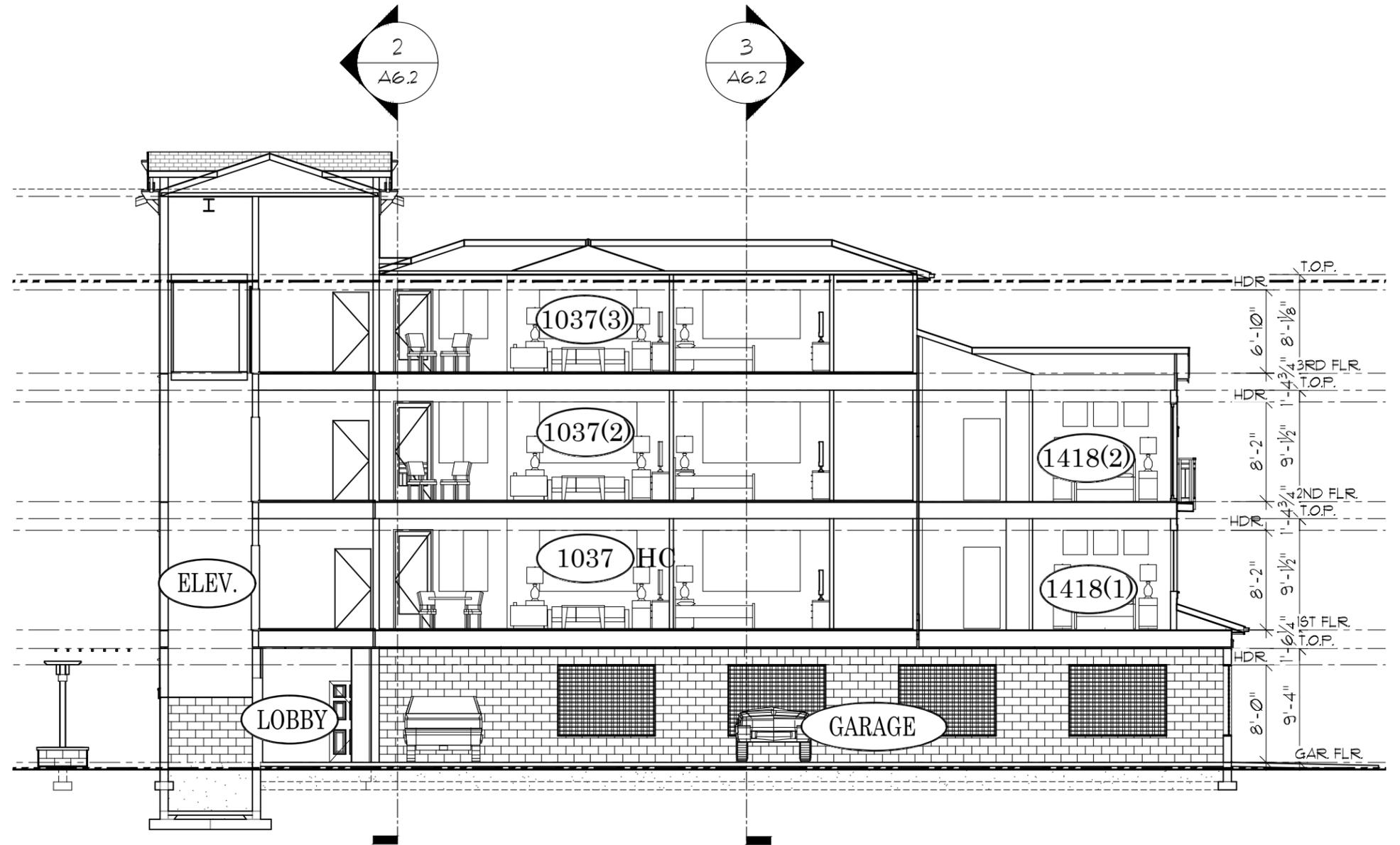
BUILDING SECTION B-B

<p>ISSAQUAH APARTMENTS PROJECT ADDRESS: 355 E. SUNSET WAY ISSAQUAH, WASHINGTON CLIENT: WHICH IS PROMISE, LLC 19538 SE 51ST STREET ISSAQUAH, WA 98021 CONTACT: D.J. LOVERIDGE</p>	<p>PRE-APP SECTION 2A6.1</p>	<p>DATE: 02-12-15 SHEET NUMBER 14 OF 16 SCALE: 3/32" = 1'-0"</p>	
<p>1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921 E-mail: OFFICE@GMSARCH.COM Architecture ♦ Design ♦ Planning ♦</p>		<p>JOB # X:\1422_12_IBG_MF-ISSAQUAH\ISSAQUAH APARTMENTS\SHEETS\PRE-APP SUBMISSION\5.1 BUILDING ELEVATIONS</p>	



BUILDING SECTION C-C

<p>ISSAQUAH APARTMENTS PROJECT ADDRESS: 355 E. SUNSET WAY ISSAQUAH, WASHINGTON</p> <p>CLIENT: WHICH IS PROMISE, LLC 19538 SE 51ST STREET ISSAQUAH, WA 98021</p> <p>CONTACT: D.J. LOVERIDGE</p>	<p>PRE-APP SECTION 3A6.1</p>	<p>DATE: 02-12-15</p> <p>SHEET NUMBER 15 OF 16</p> <p>SCALE: 3/32" = 1'-0"</p>	
<p>1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921</p> <p>E-mail: OFFICE@GMSARCH.COM Architecture ♦ Design ♦ Planning ♦</p>		<p>JOB # X:\1422_12_IBG_MF-ISSAQUAH\ISSAQUAH APARTMENTS\SHEETS\PRE-APP SUBMISSIONS\5.1 BUILDING ELEVATIONS</p>	



BUILDING SECTION D-D

<p>ISSAQUAH APARTMENTS PROJECT ADDRESS: 355 E. SUNSET WAY ISSAQUAH, WASHINGTON</p> <hr/> <p>CLIENT: WHICH IS PROMISE, LLC 19538 SE 51ST STREET ISSAQUAH, WA 98021</p> <p>CONTACT: D.J. LOVERIDGE</p>	<p>PRE-APP SECTION 4A6.1</p>	<p>DATE: 02-12-15</p> <p>SHEET NUMBER 16 OF 16</p> <p>SCALE: 3/32" = 1'-0"</p>	
<p>1804 136th Place NE Ste. 1, Bellevue, WA 98005 PH (425) 644-1446 Fax 644-1921</p> <p>E-mail: OFFICE@GMSARCH.COM Architecture ♦ Design ♦ Planning ♦</p>		<p>JOB # X\1422_12_IBG_MF-ISSAQUAH\ISSAQUAH APARTMENTS\SHEETS\PRE-APP SUBMISSION\5.1 BUILDING ELEVATIONS</p>	