

PROJECT INFORMATION

PROJECT LOCATION: 10TH AVE NE & NE FALLS DRIVE
LEGAL DESCRIPTION: BLOCK 19, CITY OF ISSAQUAH BOUNDARY LINE ADJUSTMENT NO. LL07-007H, RECORDED IN VOLUME 239 OF SURVEYS, PAGES 99 THROUGH 101 UNDER RECORDING NO. 2008012290005, RECORDS OF KING COUNTY, WASHINGTON.
DESCRIPTION OF WORK: THIS PROPOSAL IS FOR A SEVEN STORY MIXED-USE BUILDING CONTAINING 135 RESIDENTIAL UNITS, AND 215 PARKING STALLS ACCESSED FROM NE FALLS DRIVE. THE LOT FRONTS NE FALLS DRIVE TO THE SOUTH, 10TH AVE NE TO THE WEST, A WETLAND TO THE NORTH, AND THE WSDOT POND SITE TO THE EAST. THE SITE AREA IS APPROXIMATELY 94,511 SF AND SLOPES DOWN FROM EAST TO WEST ALONG NE FALLS DRIVE.
SITE AREA: APPROXIMATELY 94,511 SF
ZONES: ISSAQUAH HIGHLANDS
 U-V URBAN VILLAGE ZONE
PARCEL NUMBER: 363036-0040

SITE LOCATION



ISSAQUAH HIGHLANDS BLOCK 19 10TH AVE NE & NE FALLS DRIVE

PROJECT TEAM

OWNER/CLIENT: SFC HOMES, LLC
 1110 12TH AVE., NE, SUITE 202
 BELLEVUE, WA 98004
 ATTN: TAKEFUMI USAMI
 PH- 425.454.2355

ARCHITECT: CLARK DESIGN GROUP
 1401 WEST GARFIELD STREET
 SEATTLE, WA 98119
 ATTN: DARCY PERRAULT
 PH- 206.782.8208

CIVIL ENGINEERS: CORE DESIGN INC.
 1477 NE 29TH PLACE, SUITE 101
 BELLEVUE, WA 98007
 ATTN: GLENN R. SPRAGUE
 PH- 425.885.7877

OWNER/CLIENT: MAPLE MULTI-FAMILY LAND TX L.P.
 101 STEWART STREET, SUITE 935
 SEATTLE, WA 98101
 ATTN: JASON BOOK-SYMONS
 PH- 206.876.8062

LANDSCAPE ARCHITECT: COMMUNITA ATELIER
 1402 3RD AVENUE, SUITE 1000
 SEATTLE, WA 98101
 ATTN: NOELLE HIGGINS
 P- 206.602.2438

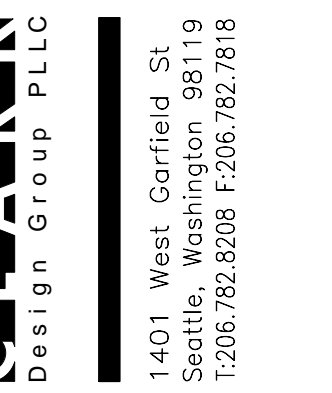
BUILDING CODE SUMMARY

APPLICABLE CODES: 2015 INTERNATIONAL BUILDING CODE - WAC 51-50
 2015 INTERNATIONAL FIRE CODE- WAC 51-51
 2015 INTERNATIONAL MECHANICAL CODE - WAC 51-52
 2015 INTERNATIONAL FUEL GAS CODE - WAC 51-52
 2015 INTERNATIONAL ENERGY CODE - WAC 51-11C AND 51-11R
 2015 UNIFORM PLUMBING CODE - WAC 51-16 AND WAC 51-57
 2009 ANSI A117.1-2009
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

OCCUPANCY GROUPS: S-2 GARAGE
 S-1 STORAGE
 R-2 RESIDENTIAL
 A-2 ASSEMBLY
 B BUSINESS

SHEET INDEX

CS1.01 COVER SHEET
 CS2.01 SURVEY
 L1.01 LANDSCAPE PLAN
 C1.01 CIVIL CONCEPTUAL GRADING AND UTILITIES
 A1.01 ARCHITECTURAL SITE PLAN
 A2.01 P2 PLAN
 A2.02 P1 PLAN



**ISSAQUAH HIGHLANDS
BLOCK 19
10TH AVE NE & NE FALLS DRIVE
ISSAQUAH, WA 98029**

SYMBOLS

	ELEVATION INDICATOR		INTERIOR ELEVATION INDICATOR		FLOOR/CEILING TYPE TAG
	BUILDING SECTION INDICATOR		PLAN KEYNOTE		ROOM NUMBER
	WALL SECTION INDICATOR		DOOR TAG		WALL TYPE TAG
	DETAIL OR ENLARGED PLAN INDICATOR		WINDOW TAG		DATUM / ELEVATION
	FIRE EXTINGUISHER IN CABINET		CEILING HEIGHT INDICATOR		CONCRETE CONSTRUCTION
	WALL OR CLG. MOUNTED EXIT SIGN		MATERIAL TAG		ACCESSIBLE PARKING STALL
	CLG. MTD. DIRECTIONAL EXIT SIGN, VISIBLE FROM BOTH SIDES, AS REQ'D.		NO PARKING ZONE		

ABBREVIATIONS

ABV- ABOVE	FLR- FLOOR	O.D.- OUTSIDE DIAMETER
ACOUS- ACOUSTICAL	F.O.- FACE OF	OD- OVERFLOW DRAIN
ACT- ACOUSTICAL CEILING TILE	F.O.S.- FACE OF STUD	O.H.- OPPOSITE HAND
ADJ- ADJACENT, ADJUSTABLE	F.O.W.- FACE OF WALL	OPN'G- OPENING
AFF- ABOVE FINISH FLOOR	FR- FIRE RESISTIVE, FIRE RATED	OPP- OPPOSITE
ALT- ALTERNATE	FT- FOOT, FEET	PERP- PERPENDICULAR
ALUM- ALUMINUM	F.T.- FIRE TREATED	PL- PLATE
ANOD- ANODIZED	FTG- FOOTING	PLAM- PLASTIC LAMINATE
ARCH- ARCHITECTURAL	FURR- FURRING	PLT- PLATFORM
ASPH- ASPHALT	GA- GAGE	PTD- PAINTED
BLDG- BUILDING	GALV- GALVANIZED	PNT- PAINT
BLKG- BLOCKING	GC- GENERAL CONTRACTOR	PP- POWER POLE
BLW- BELOW	GLS- GLASS	PSF- POUNDS PER SQUARE FOOT
BM- BEAM	GRD- GRADE, GROUND	PSI- POUNDS PER SQUARE INCH
B.O.- BOTTOM OF	GV- GAS VALVE	P.T.- POST TENSIONED
BOT- BOTTOM	CWB- GYPSUM WALLBOARD	PT- PRESSURE TREATED
BRG- BEARING	GYP- GYPSUM	PV- PLUMBING VENT
CAB- CABINET	HB- HOSE BIB	PWD/PLYWD- PLYWOOD
CB- CATCH BASIN	HC- HANDICAP	RAD- RADIUS
CIP- CAST-IN-PLACE	H.D.- HOT DIPPED	RB- RUBBER BASE
CJ- CONTROL JOINT	HDWR- HARDWARE	RCP- REFLECTED CEILING PLAN
CL- CENTERLINE	HGT- HEIGHT	RD- ROOF DRAIN
CLG- CEILING	HM- HOLLOW METAL	REC- RECOMMENDED
CLR- CLEAR	HORIZ- HORIZONTAL	REF- REFERENCE, REFER
CMU- CONCRETE MASONRY UNIT	HPC- HIGH PERFORMANCE COATING	REF- REFRIGERATOR
COL- COLUMN	HR- HOUR	REINF- REINFORCED
CONC- CONCRETE	ID- INSIDE DIAMETER	REQ, REQ'D- REQUIRED
CONST- CONSTRUCTION	INSUL- INSULATION	RM- ROOM
CONT- CONTINUOUS	INST- INSTALL, INSTALLER	RO- ROUGH OPENING
CPT- CARPET	INT- INTERIOR	SBC- SEATTLE BUILDING CODE
CT- CERAMIC TILE	JAN- JANITOR	SC- SOLID CORE
CTR- CENTER	JT- JOINT	SCHED- SCHEDULE, SCHEDULED
DET, DTL- DETAIL	LAM- LAMINATED	SDMH- STORM DRAIN MANHOLE
DF- DRINKING FOUNTAIN	LAV- LAVATORY	SECT- SECTION
DIA- DIAMETER	LB- POUND	SF- SQUARE FEET
DIM- DIMENSION	LG- LARGE	SHT- SHEET
DN- DOWN	LOC- LOCATION	SIM- SIMILAR
DS- DOWNSPOUT	LP- LIGHT POLE	SL- STREET LIGHT
DW- DISHWASHER	MACH- MACHINE	SM- SMALL
DWG- DRAWING	MATL- MATERIAL	SPEC- SPECIFICATION
(E) EXIST- EXISTING	MAX- MAXIMUM	SQ- SQUARE
EACH- EACH	MDF- MEDIUM DENSITY FIBERBOARD	SS- SANITARY SEWER
EF- EXHAUST FAN	MDO- MEDIUM DENSITY OVERLAY	S.S.- STAINLESS STEEL
EJ, EXP JT- EXPANSION JOINT	MECH- MECHANICAL	STD- STANDARD
ELEC- ELECTRIC (AL)	MED- MEDIUM	STL- STEEL
ELEV- ELEVATION OR ELEVATOR	MFR- MANUFACTURER	STRL/STRUC- STRUCTURAL
EQ- EQUAL	MIN- MINIMUM	SYM- SYMMETRICAL
EXP- EXPANSION, EXPOSED	MIR- MIRROR	T.B.D.- TO BE DETERMINED
EXT- EXTERIORFA- FIRE ALARM	MISC- MISCELLANEOUS	TEL- TELEPHONE
FAS- FALL ARREST SYSTEM	M.O.- MASONRY OPENING	TG- TEMPERED GLASS
FD- FLOOR DRAIN	MTD- MOUNTED	T.O.- TOP OF
FDC- FIRE DEPARTMENT CONNECTION	MTL- METAL	TS- TUBE STEEL
FE- FIRE EXTINGUISHER	N.A.- NOT APPLICABLE	TSP- TELEPHONE SERVICE POLE
FEC- FIRE EXTINGUISHER CABINET	NIC- NOT IN CONTRACT	TYP- TYPICAL
FFE- FINISH FLOOR ELEVATION	NO.- NUMBER	UL- UNDERWRITER'S LABORATORY
FH- FIRE HYDRANT	NOM- NOMINAL	UON- UNLESS OTHERWISE NOTED
FIN- FINISH	NTS- NOT TO SCALE	VB- VINYL BASE
FLASH- FLASHING	O/- OVER	VCT- VINYL COMPOSITION TILE
FND- FOUNDATION	O.C.- ON CENTER	VER- VERIFY
		VERT- VERTICAL
		V.I.F.- VERIFY IN FIELD
		W/- WITH
		WD- WOOD
		WIN, WDW - WINDOW
		WP- WATERPROOF
		W.R.- WEATHER RESISTANT

MATERIALS LEGEND

NOTE - THE STANDARD LIST BELOW INCLUDES ITEMS THAT MAY NOT OCCUR IN THIS PROJECT.

	EARTH
	GRAVEL
	SAND, MORTAR, or PLASTER
	CONCRETE
	ASPHALT CONCRETE
	PRECAST CONCRETE
	BRICK
	CONCRETE MASONRY UNIT
	FINISH WOOD
	INSULATION (LOOSE, BLANKET)
	RIGID INSULATION
	MINERAL FIBRE
	METAL
	GYPSUM WALL BOARD
	PLYWOOD
	WOOD BACKING, BLOCKING, or SHIM
	WOOD FRAMING, CONTINUOUS
	ENGINEERED WOOD FRAMING
	ORIENTED STRAND BOARD
	SEALANT & BACKER ROD
	GLASS, ELEVATION
	CARPET

NOT FOR CONSTRUCTION

DATE: 01/10/17
 DWN BY: LF, DP
 JOB NO. 16-27

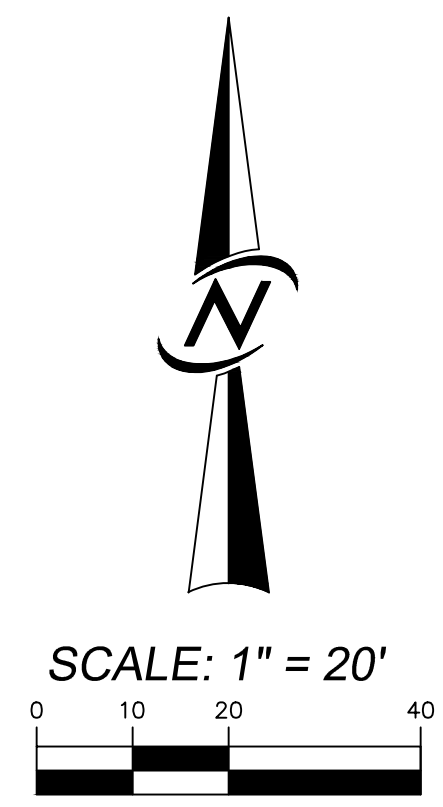
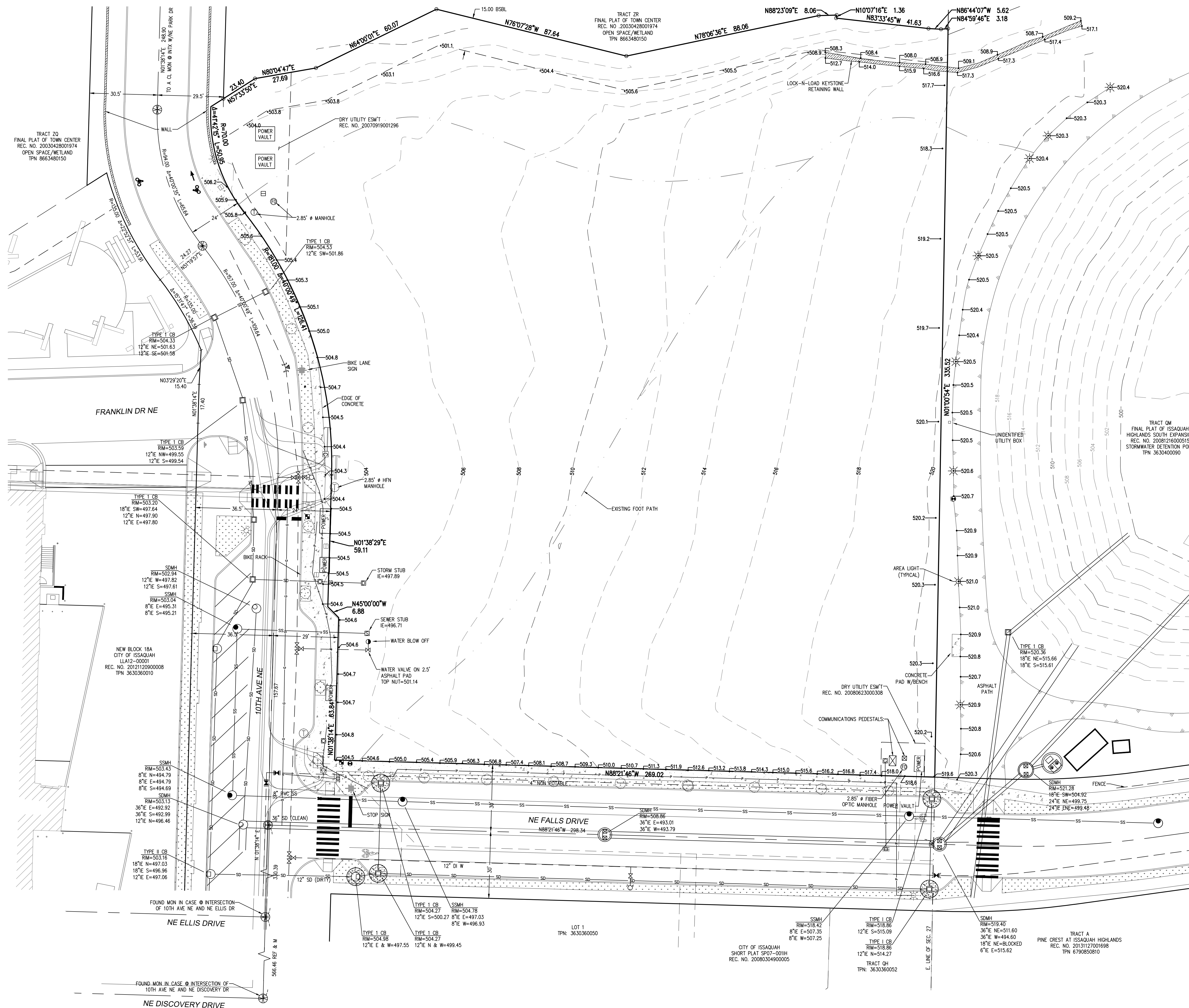
REVISIONS:
 NO. DATE DESCRIPTION

ISSUE:
 PRE-APPLICATION

COVER SHEET

SHEET NO:

.CS1.01



VERTICAL DATUM
 (PER DAVID EVANS AND ASSOCIATES)
 NAVD 83 BASED ON N.G.S. STATION 'MERCA' LOCATED IN BELLEVUE, WASHINGTON, AND THREE EXISTING DAVID EVANS AND ASSOCIATES CONTROL POINTS LOCATED ALONG INTERSTATE 90 IN ISSAQUAH, WASHINGTON.

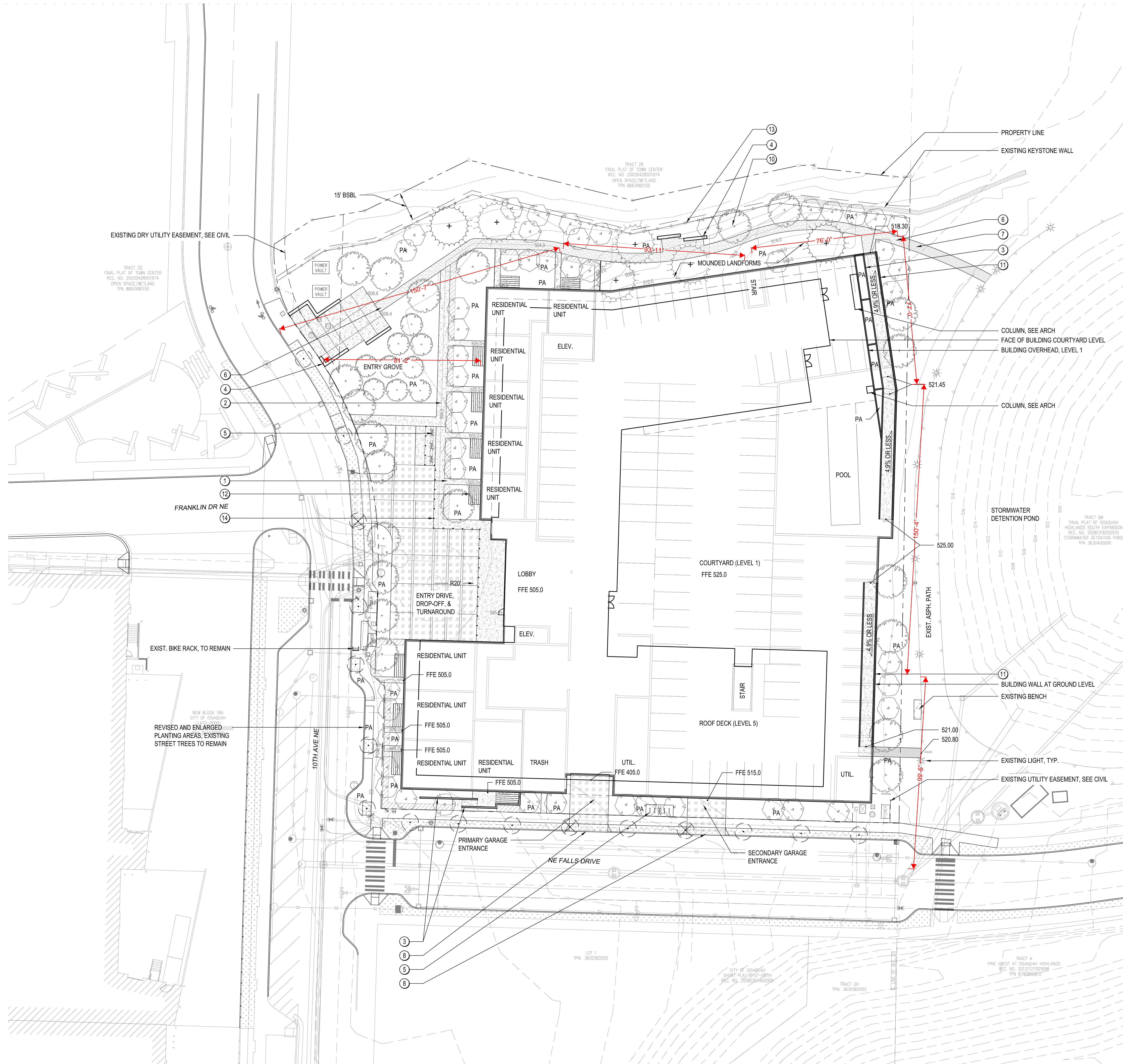
- LEGEND**
- ☒ COMMUNICATION PEDESTAL
 - ☒ POWER PEDESTAL
 - ⊕ FIBER OPTIC MANHOLE
 - ⊕ TELEPHONE MANHOLE
 - ⊕ GAS VALVE
 - ⊕ WATER VALVE
 - ⊕ IRRIGATION VALVE
 - ⊕ IRRIGATION CONTROL BOX
 - ⊕ SIGN
 - ⊕ LIGHT
 - ⊕ SIGN SETBACK LINE
 - BSRL BUILDING SETBACK LINE
 - X-X SPOT ELEVATION
 - FOUND PROPERTY CORNER - 1" REBAR W/ YELLOW PLASTIC CAP 'LS 41299'
 - GAS LINE PAINT
 - POWER LINE PAINT
 - WATER LINE PAINT

BASIS OF BEARINGS
 N 0°38'14" E BETWEEN FOUND MONUMENTS IN PLACE ALONG 10TH AVENUE NE AT THE INTERSECTIONS WITH NE ELLIS DR AND NE DISCOVERY DR.

REFERENCE
 CITY OF ISSAQUAH BOUNDARY LINE ADJUSTMENT NO. LL407-007H AS RECORDED UNDER RECORDING NO. 20080122900005.

LEGAL DESCRIPTION
 NEW BLOCK 19 ON ISSAQUAH BOUNDARY LINE ADJUSTMENT NO. LL407-007H RECORDED IN VOLUME 239 OF SURVEYS, ON PAGES 99 THROUGH 101, RECORDED UNDER REC. NO. 20080122900005, RECORDS OF KING COUNTY, WASHINGTON.

- NOTES**
- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON JULY 29, 2016. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN JULY, 2016.
 - PROPERTY AREA = 94,511± SQUARE FEET (2.17± ACRES).
 - ALL DISTANCES ARE IN FEET.
 - THIS IS A FIELD TRAVERSE SURVEY. A SOKKIA FIVE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.

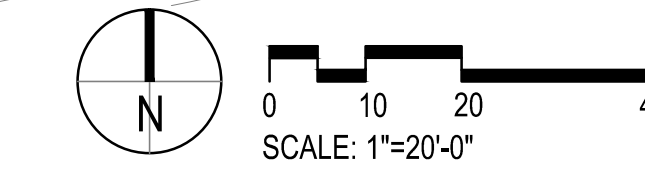


- LEGEND**
- EXISTING TREE TO REMAIN - 13
 - EXISTING TREE TO REMOVE - 3
 - PROPOSED TREE - DECIDUOUS
 - PROPOSED TREE - EVERGREEN
 - PROPOSED TREE - MULTISTEM
 - PLANTING AREA
 - SCREENING PLANTING PER COI
 - ASPHALT PAVING
 - CONCRETE PAVING
 - VEHICULAR CONCRETE
 - GRAVEL PAVING

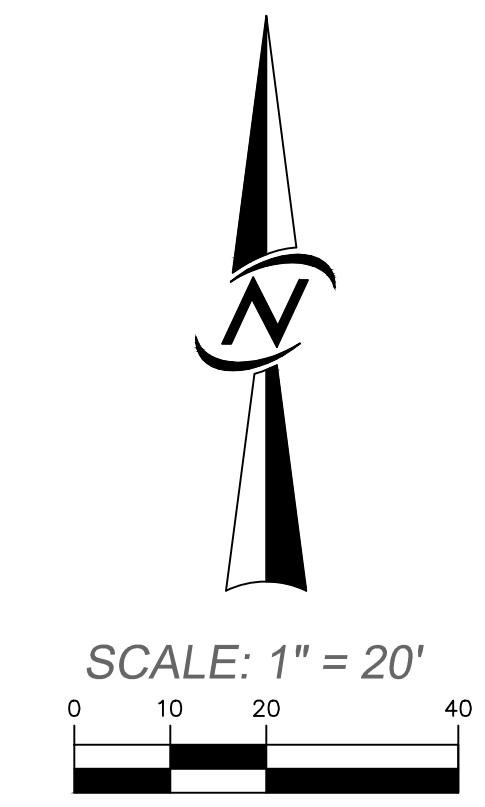
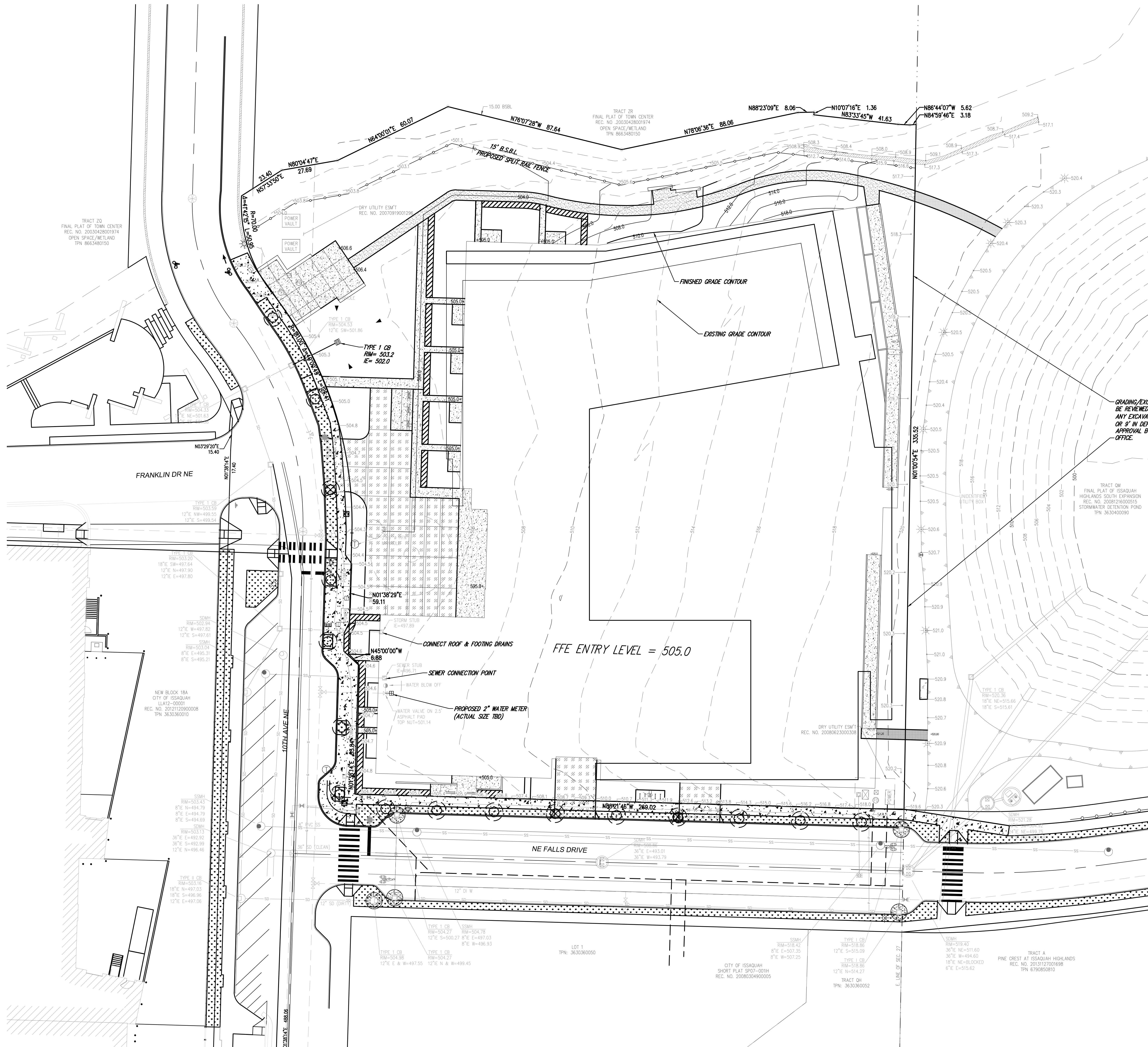
- NUMBERED NOTES**
- 1 3' - 0" W. PAVED PRIVATE WALKWAY TO RESIDENTIAL UNIT, TYP
 - 2 5' - 0" W. PAVED WALKWAY
 - 3 C.I.P. SITE WALL (8" WIDTH, TYP.)
 - 4 C.I.P. SEAT WALL (18" WIDTH, TYP.)
 - 5 BIKE RACK
 - 6 5' - 0" TRAIL: GRAVEL WITH STEEL EDGING
 - 7 5' - 0" TRAIL: ASPHALT
 - 8 20' - 0" DRIVEWAY W/ CURB CUT, SEE CIVIL
 - 9 SCREENING AT TRANSFORMER, MATERIAL TBD
 - 10 EROSION CONTROL AT SLOPES >3:1
 - 11 C.I.P. WALL, PER STRUCT.
 - 12 UNIT PATIO, MINIMUM 6' WIDE, TYP
 - 13 SPLIT RAIL FENCE PER COI REQUIREMENTS
 - 14 BOLLARD, TYP.

- GENERAL NOTES:**
1. LANDSCAPE TO BE IRRIGATED WITH NON-POTABLE WATER.
 2. LANDSCAPE MATERIALS AND SYSTEM TO BE SPECIFIED TO MEET 'ISSAQUAH HIGHLANDS WATER CONSERVATION STANDARDS'
 3. TREE INSTALLATIONS ADJACENT TO WALK, CURBS, DRIVES AND OTHER HARDSCAPE SHALL INCLUDE 18" 'DEEPROOT' ROOT BARRIERS PER ISSAQUAH HIGHLANDS STANDARDS.
 4. ALL SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH EROSION CONTROL FABRIC INSTALLED PER MANUFACTURERS SPECIFICATIONS.
 5. EXISTING STREET TREES TO BE PROTECTED. SOME ADJUSTMENTS TO ROW PLANTING, SEE PLAN.
 6. USPS WILL DELIVER TO MAIL ROOM INSIDE BUILDING, SEE ARCH.
 7. FOR PEDESTRIAN WEATHER PROTECTION SEE ARCH.
 8. TRAIL CONNECTION TO BE 5 FT WIDE ASPHALT PATH, TYP.
 9. ENTRY DRIVE, LOBBY DROP-OFF, AND TURN-AROUND WILL INCORPORATE VARIED SPECIAL PAVING AND PLANTING IN LINEAR PATTERN ADJACENT TO A GROVE OF SPECIMEN TREES AND SHRUBS. DROP OFF WILL BE FLUSH WITH ADJACENT WALKWAYS AND PEDESTRIANS WILL BE PROTECTED THROUGH THE USE OF BOLLARDS. NO CENTRAL TREE OR PLANTING WILL DEFINE THE DRIVE AISLE, TO BE CLARIFIED THROUGH CAREFUL ATTENTION TO PAVING PATTERNS.

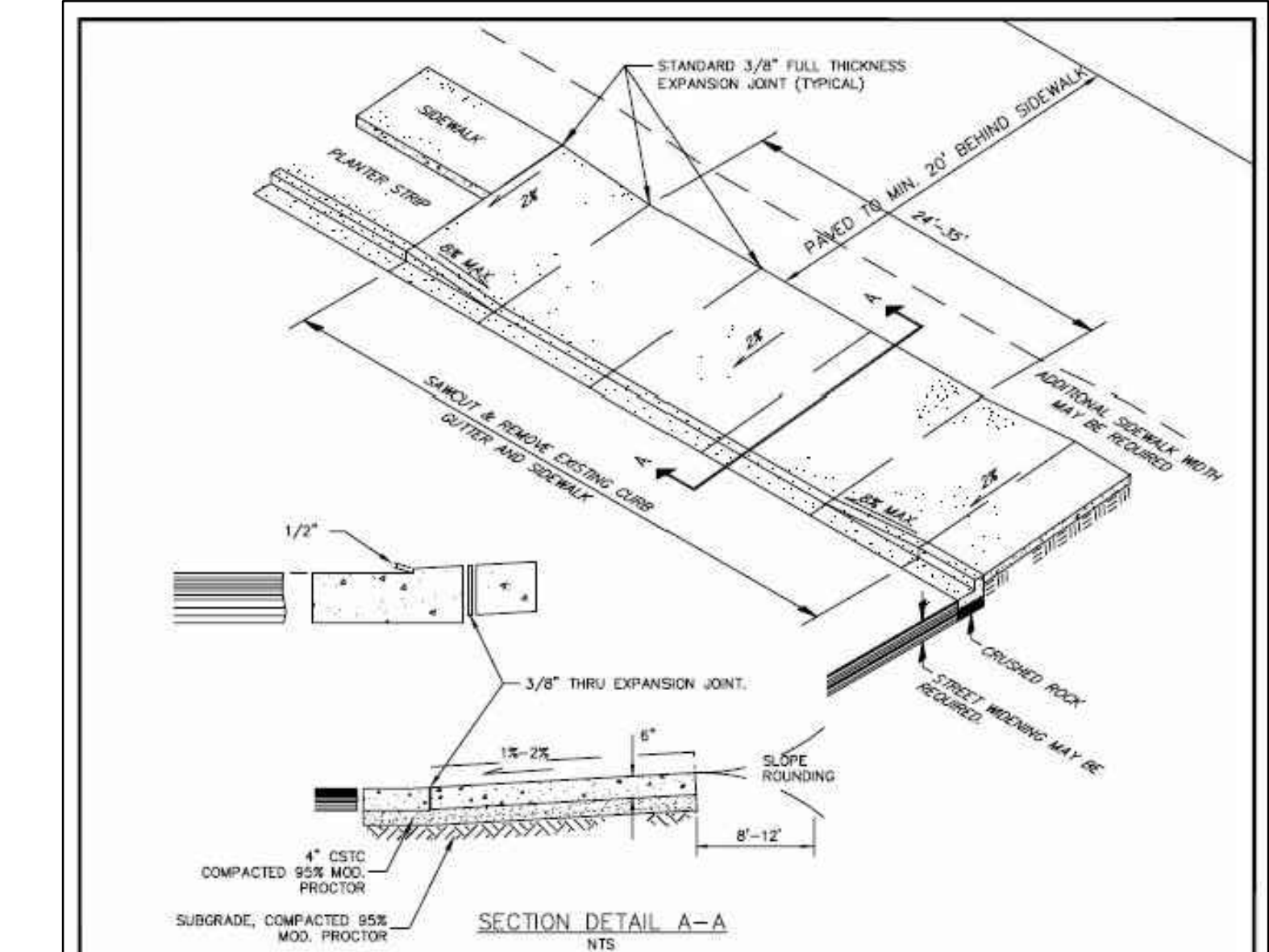
1 LANDSCAPE PLAN
SCALE: 1"=20'-0"



NOT FOR CONSTRUCTION



GRADING/EXCAVATION & BUILDING SETBACK ALONG EAST PROPERTY LINE SHALL BE REVIEWED BY GEOTECH TO ENSURE STABILITY OF THE EXISTING FLOOD BERM. ANY EXCAVATION GREATER THAN 4' IN DEPTH WITHIN 10' OF THE PROPERTY LINE OR 5' IN DEPTH WITHIN 20' OF THE PROPERTY LINE REQUIRES REVIEW AND APPROVAL BY THE WASHINGTON STATE DEPARTMENT OF ECOLOGY DAM SAFETY OFFICE.



- NOTES:**
1. ALL JOINTS SHALL BE CLEANED AND EDGED.
 2. MAXIMUM DRIVEWAY GRADE BEHIND APPROACH IS 1% (4\"/>

Back to Table of Contents NO SCALE

CITY OF ISSAQUAH PUBLIC WORKS DEPARTMENT	COMMERCIAL DRIVEWAY APPROACH WITH PLANTER STRIP	STANDARD DETAIL NO. T-06
--	---	--------------------------

ISSAQUAH HIGHLANDS

BLOCK 19
10TH AVENUE NE & NE FALLS DRIVE
ISSAQUAH, WA 98029

©CDG

NOT FOR CONSTRUCTION

DATE: 01/10/17
DWN BY: LF, DP
JOB NO: 16-27

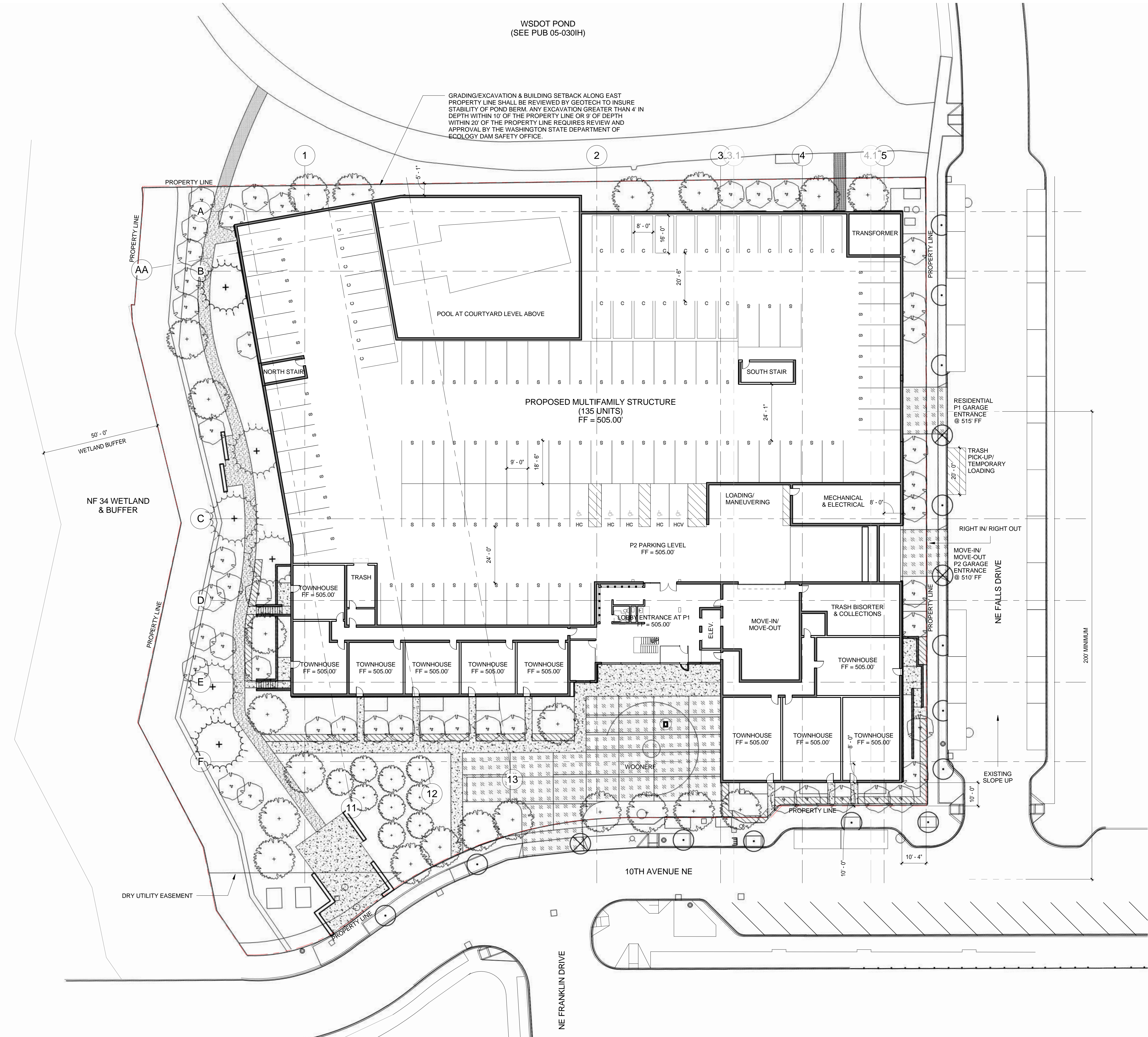
REVISIONS:
NO. DATE DESCRIPTION

ISSUE:
PRE-APPLICATION

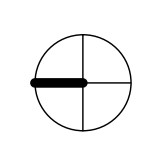
ARCHITECTURAL
SITE PLAN

SHEET NO:

.A1.01



1 ARCHITECTURAL SITE PLAN
1" = 20'-0"



PARKING COUNT	
SIZE	QUANTITY
LEVEL P2	
COMPACT	27
HANDICAP	4
VAN	1
STANDARD	80
112	
LEVEL P1	
COMPACT	30
HANDICAP	2
STANDARD	73
105	
217	

CLARK
Design Group PLLC
1401 West Cardiff St.
Seattle, Washington 98119
T:206.762.8208 F:206.762.7818

ISSAQUAH HIGHLANDS
BLOCK 19
10TH AVE NE & NE FALLS DRIVE
ISSAQUAH, WA 98029

NOT FOR CONSTRUCTION

DATE: 01/10/17
DWN BY: LF, DP
JOB NO: 16-27

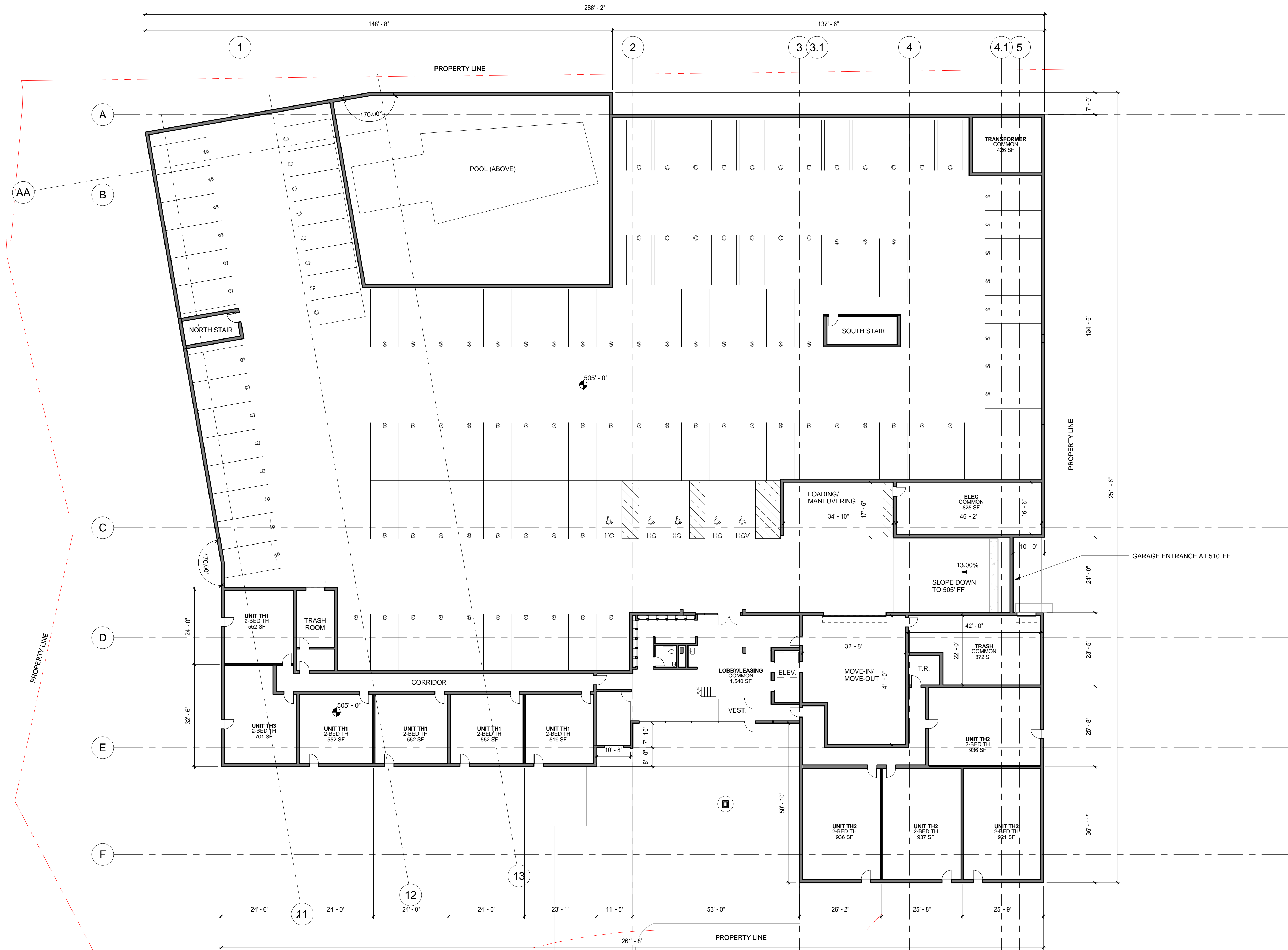
REVISIONS:
NO. DATE DESCRIPTION

ISSUE:
PRE-APPLICATION

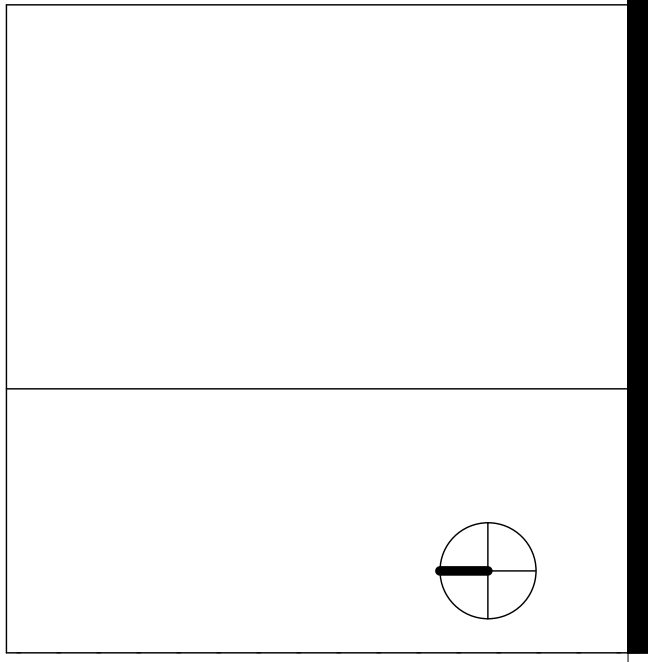
LEVEL P2
PARKING
PLAN

SHEET NO:

.A2.01



1 .LEVEL P2
1/16" = 1'-0"

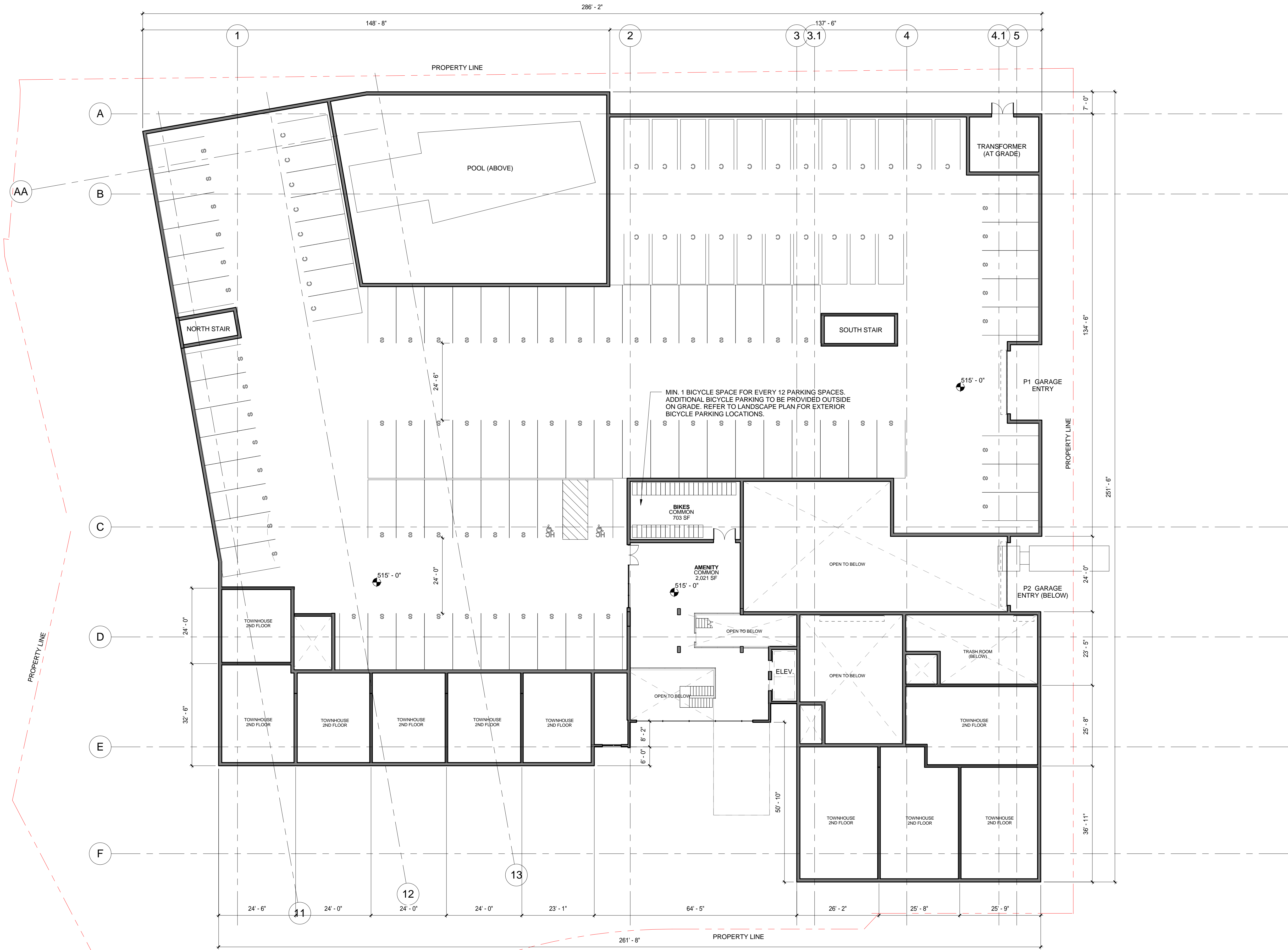


PARKING COUNT	
SIZE	QUANTITY
LEVEL P2	
COMPACT	27
HANDICAP	4
UVAN	1
STANDARD	80
	112
LEVEL P1	
COMPACT	30
HANDICAP	2
STANDARD	73
	105
	217

CLARK
Design Group PLLC
1401 West Corbett St.
Seattle, Washington 98119
T:206.762.8208 F:206.762.7818

ISSAQUAH HIGHLANDS
BLOCK 19
10TH AVE NE & NE FALLS DRIVE
ISSAQUAH, WA 98029

©CDG



MIN. 1 BICYCLE SPACE FOR EVERY 12 PARKING SPACES.
ADDITIONAL BICYCLE PARKING TO BE PROVIDED OUTSIDE
ON GRADE. REFER TO LANDSCAPE PLAN FOR EXTERIOR
BICYCLE PARKING LOCATIONS.

NOT FOR CONSTRUCTION

DATE: 01/10/17
DWN BY: LF, DP
JOB NO: 16-27

REVISIONS:
NO. DATE DESCRIPTION

ISSUE:
PRE-APPLICATION

LEVEL P1
PARKING
PLAN

SHEET NO:

.A2.02

1 .LEVEL P1
1/16" = 1'-0"

