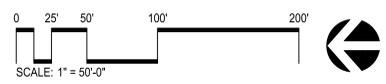


1 EXISTING CONDITIONS PLAN
SCALE: 1"=40'-0"



DATE	REVISION
11.19.15	



CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
 1907 PARK PLACE DRIVE NE
 ISSAQUAH, WA 98029



PROJECT NO.
EXISTING CONDITIONS PLAN

L1.00

SHEET OF



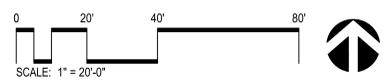
KEY NOTE LEGEND

- ① REMOVE EXISTING ASPHALT PAVING TO LIMITS SHOWN
- ② REMOVE EXISTING CONCRETE CURB TO LIMITS SHOWN
- ③ REMOVE EXISTING CONCRETE WALK TO LIMITS SHOWN
- ④ REMOVE AND DISPOSE EXISTING PLANT MATERIAL WITHIN LIMITS SHOWN
- ⑤ REMOVE EXISTING TREES AS SHOWN
- ⑥ REMOVE EXISTING CHAIN LINK FENCE INCLUDING POSTS AND FOOTINGS
- ⑦ REMOVE EXISTING DUGOUT STRUCTURE INCLUDING POST AND FOOTINGS
- ⑧ RELOCATE IRRIGATION CONTROL WIRES AND CONDUIT TO _____ PROVIDE VALVE BOX AT SOURCE LOCATIONS.
- ⑨ RELOCATE A PORTION OF 6" IRRIGATION MAINLINE AS SHOWN TO AVOID NEW CONSTRUCTION PROVIDE VALVE BOX AT SPLICE PER _____
- ⑩ EXISTING BLEACHERS TO BE SAVED. RELOCATE AWAY FROM CONSTRUCTION ACTIVITY. PLACE IN NEW LOCATION.

LEGEND

- CURB OR FENCE TO BE DEMOLISHED AND REMOVED
- PAVEMENT OR GROUND COVER TO BE DEMOLISHED AND REMOVED
- TREE TO BE REMOVED

1 DEMOLITION PLAN - SOUTH
SCALE: 1" = 30'-0"



DATE	REVISION	BY	CHK. NO.
11/19/15			



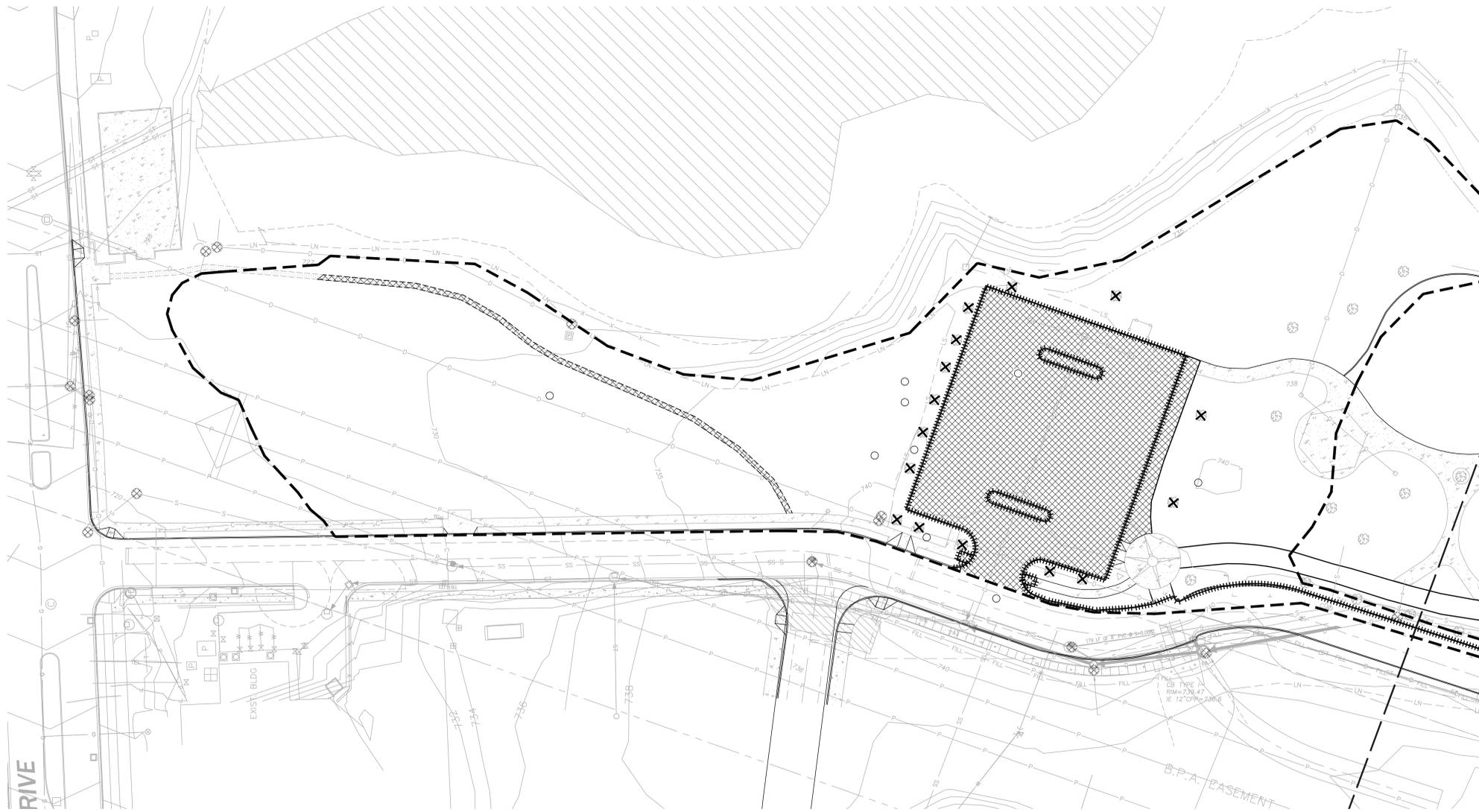
CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
 1907 PARK PLACE DRIVE NE
 ISSAQUAH, WA 98029



PROJECT NO.
PRELIMINARY DEMOLITION PLAN - SOUTH

L-1.01

SHEET OF

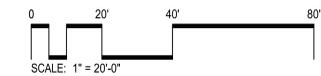


KEY NOTE LEGEND

- ① REMOVE EXISTING ASPHALT PAVING TO LIMITS SHOWN
- ② REMOVE EXISTING CONCRETE CURB TO LIMITS SHOWN
- ③ REMOVE EXISTING CONCRETE WALK TO LIMITS SHOWN
- ④ REMOVE AND DISPOSE EXISTING PLANT MATERIAL WITHIN LIMITS SHOWN
- ⑤ REMOVE EXISTING TREES AS SHOWN
- ⑥ REMOVE EXISTING CHAIN LINK FENCE INCLUDING POSTS AND FOOTINGS
- ⑦ REMOVE EXISTING DUGOUT STRUCTURE INCLUDING POST AND FOOTINGS
- ⑧ RELOCATE IRRIGATION CONTROL WIRES AND CONDUIT TO PROVIDE VALVE BOX AT SOURCE LOCATIONS.
- ⑨ RELOCATE A PORTION OF 6" IRRIGATION MAINLINE AS SHOWN TO AVOID NEW CONSTRUCTION PROVIDE VALVE BOX AT SPLICE PER
- ⑩ EXISTING BLEACHERS TO BE SAVED. RELOCATE AWAY FROM CONSTRUCTION ACTIVITY. PLACE IN NEW LOCATION.

LEGEND

-  CURB OR FENCE TO BE DEMOLISHED AND REMOVED
-  PAVEMENT OR GROUND COVER TO BE DEMOLISHED AND REMOVED
-  TREE TO BE REMOVED



1 DEMOLITION PLAN
SCALE: 1"=20'-0"

DATE	REVISION	BY	CHK. NO.
11.18.15	PLS		



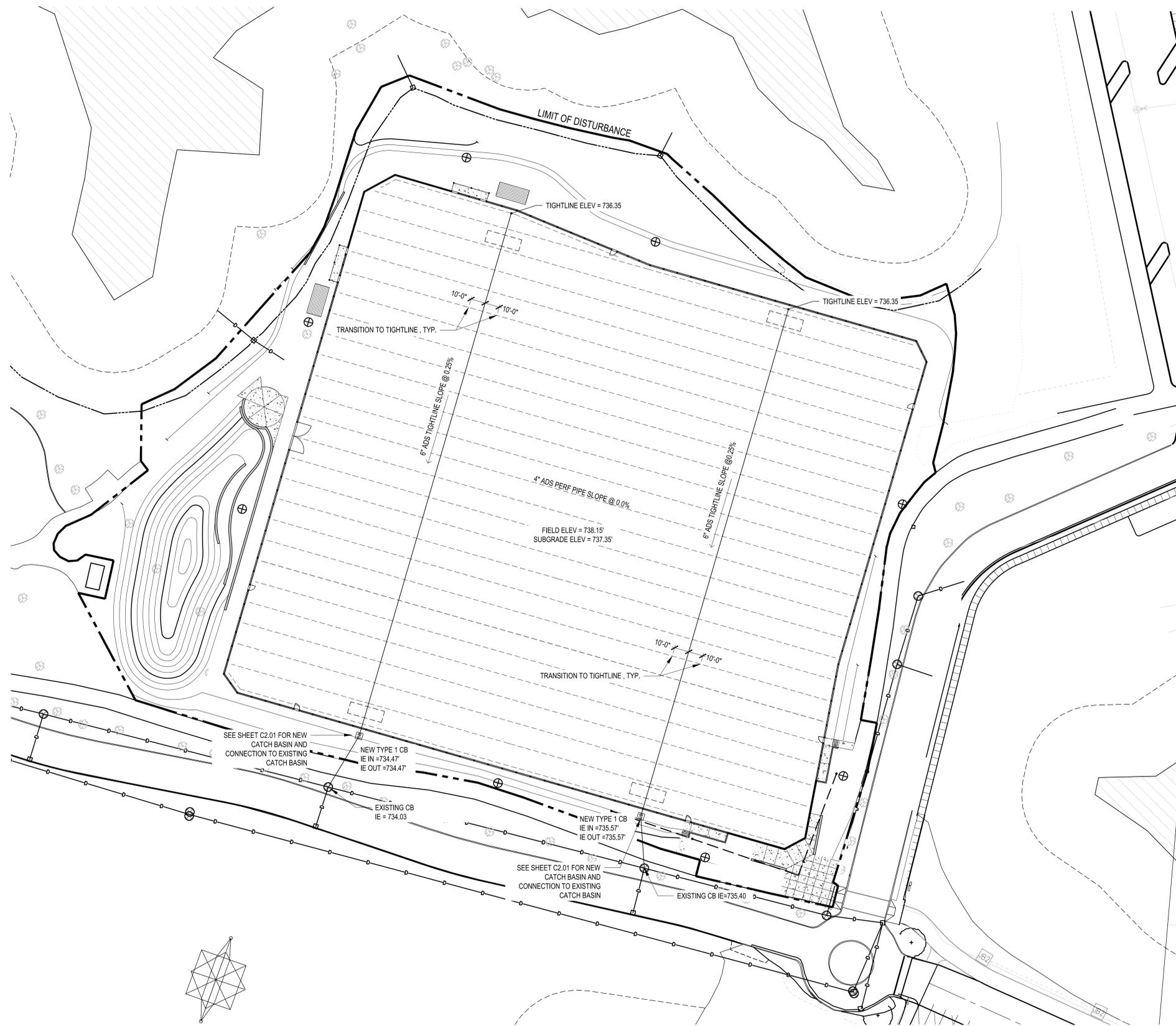
CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
 1907 PARK PLACE DRIVE NE
 ISSAQUAH, WA 98029



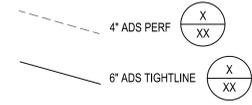
PROJECT NO.
DEMOLITION PLAN - NORTH

L-1.02

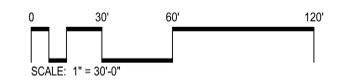
SHEET X OF X



LEGEND



1 SUBDRAINAGE PLAN
SCALE: 1"=30'-0"



DATE	REVISION	BY	CHK. NO.
11.19.15			



CENTRAL PARK PAD 1 IMPROVEMENTS
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 ISSAQUAH, WA 98029



PROJECT NO.
SUBDRAINAGE PLAN

L-3.01

SHEET OF



LAYOUT NOTES

1. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES FOUND BETWEEN DRAWINGS OR BETWEEN DRAWINGS AND SPECIFICATIONS, BEFORE CONSTRUCTING THE WORK. ANY WORK INSTALLED IN CONFLICT WITH ANY OF THE DRAWINGS SHALL BE CORRECTED AT NO EXPENSE TO THE OWNER OR DESIGN CONSULTANTS.
2. ALL SYMBOLS, ABBREVIATIONS AND MATERIAL INDICATIONS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE CONTRACTOR SHALL REQUEST THAT THE LANDSCAPE ARCHITECT ISSUE A CLARIFICATION.
3. DO NOT SCALE DRAWINGS. DIMENSIONS MISSING FROM PLANS OR NEEDED FOR EXECUTION OF THE WORK SHALL BE CLARIFIED OR PROVIDED BY THE LANDSCAPE ARCHITECT BEFORE THE WORK IS INSTALLED.
 - a. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL, UNLESS OTHERWISE NOTED.
 - b. TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, WORK LINE, CENTERLINE, OR FACE OF BUILDING/STRUCTURE.
 - c. ALL DIMENSIONS CALLED OUT AS "EQUAL" ARE CONSIDERED EQUIDISTANT MEASUREMENTS.
4. REFERENCE TO NORTH IS TRUE NORTH.
5. REFERENCE TO SCALE IS FOR FULL SIZED DRAWINGS, NOT REDUCED PLANS. DO NOT SCALE FROM DRAWINGS.
6. ANY CONFLICTS IN WHICH THE METHODS OR STANDARDS OF INSTALLATION OR MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES GOVERNING THE PROJECT, THE LAWS AND ORDINANCES SHALL TAKE PRECEDENCE. NOTIFY THE LANDSCAPE ARCHITECT OF ALL CONFLICTS.
7. THE CONTRACTOR SHALL MAKE CERTAIN THAT THE WORK OF THE NEW CONSTRUCTION WILL NOT OBSTRUCT FIRE DEPARTMENT ACCESS TO NEARBY BUILDINGS. EXITS SHALL BE MAINTAINED CLEAR OF ALL OBSTRUCTIONS.
8. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONDITIONS VARYING FROM INFORMATION HEREIN PRIOR TO PROCEEDING WITH WORK.

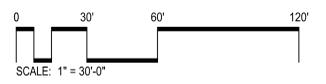
DATE	REVISION	BY	CHK. NO.
11.19.15			

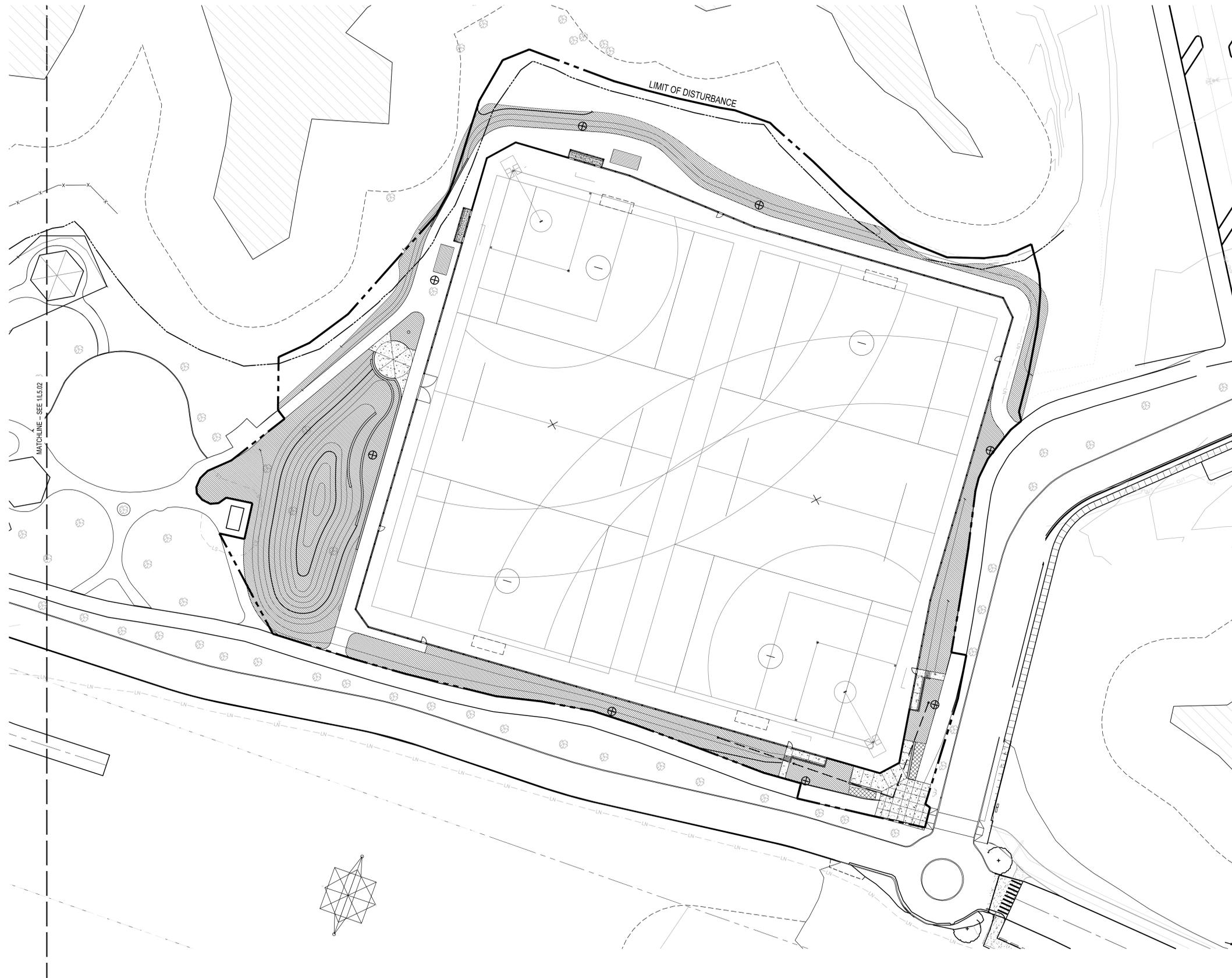


CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
 1907 PARK PLACE DRIVE NE
 ISSAQUAH, WA 98029



1 LAYOUT PLAN - SOUTH
 SCALE: 1"=30'-0"

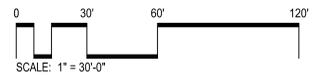




LEGEND

-  LAWN
-  SHRUBS AND GROUNDCOVER

1 PLANTING PLAN - SOUTH
SCALE: 1" = 30'-0"



DATE	REVISION	BY	CHK. NO.
11/18/15			



CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
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 ISSAQUAH, WA 98029



PROJECT NO.
PLANTING PLAN - SOUTH

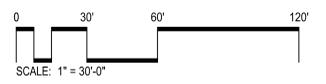
L-5.01
 SHEET ___ OF ___



LEGEND

-  LAWN
-  SHRUBS AND GROUNDCOVER

1 PLANTING PLAN - NORTH
SCALE: 1"=30'-0"



DATE	REVISION	BY	CHK. NO.
11.19.15			



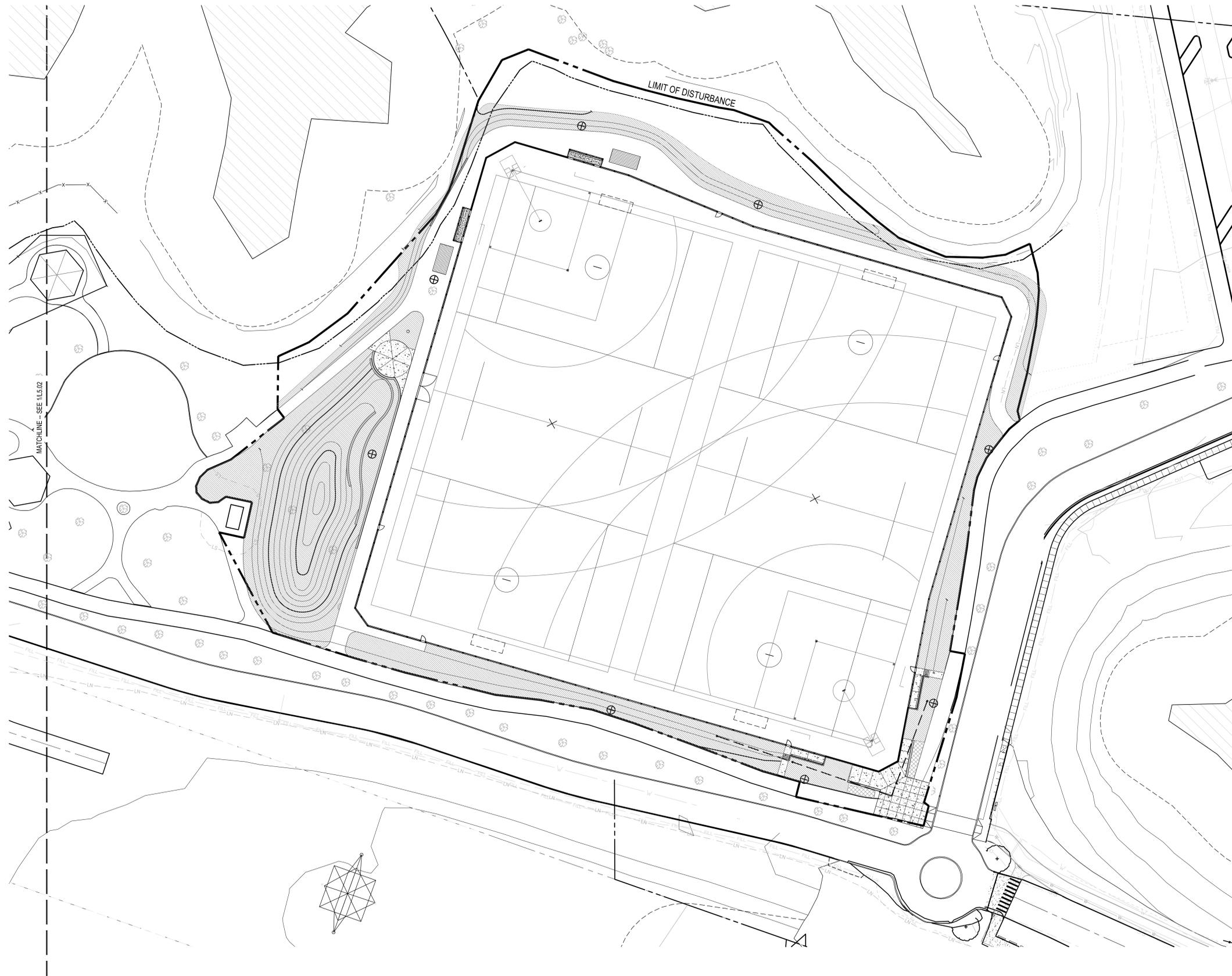
CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
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 ISSAQUAH, WA 98029



PROJECT NO.
PLANTING PLAN - NORTH

L-5.02

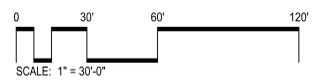
SHEET ___ OF ___



MATCHLINE - SEE 11.5.02

LIMIT OF DISTURBANCE

1 LAYOUT PLAN - SOUTH
SCALE: 1" = 30'-0"



DATE	REVISION	BY	CHK. NO.
11.19.15			



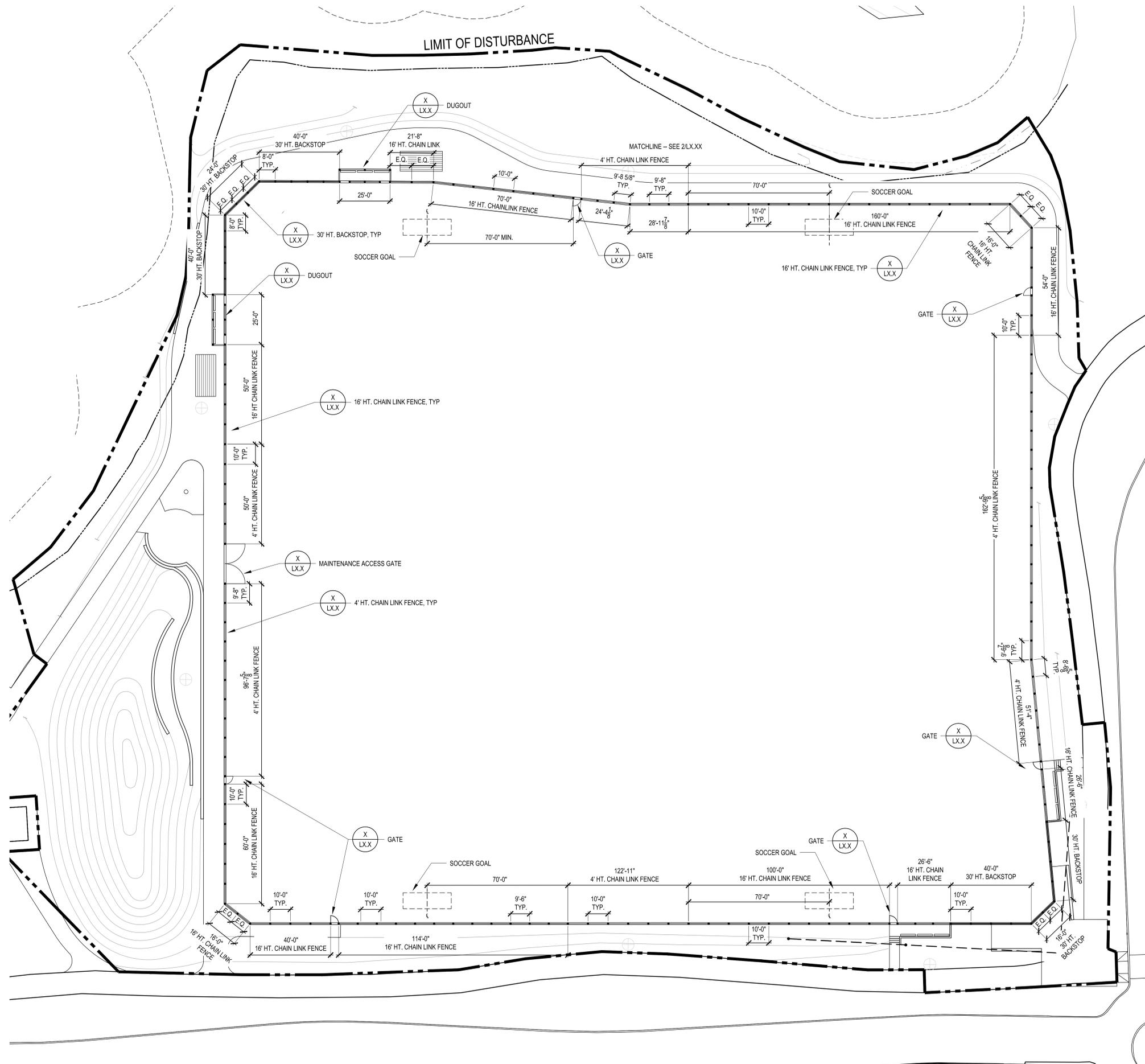
CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
1907 PARK PLACE DRIVE NE
ISSAQUAH, WA 98029



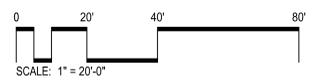
PROJECT NO.
IRRIGATION PLAN - SOUTH

L-6.01

SHEET ___ OF ___



1 FENCING LAYOUT
SCALE: 1"=20'-0"



DATE	REVISION
11/18/15	



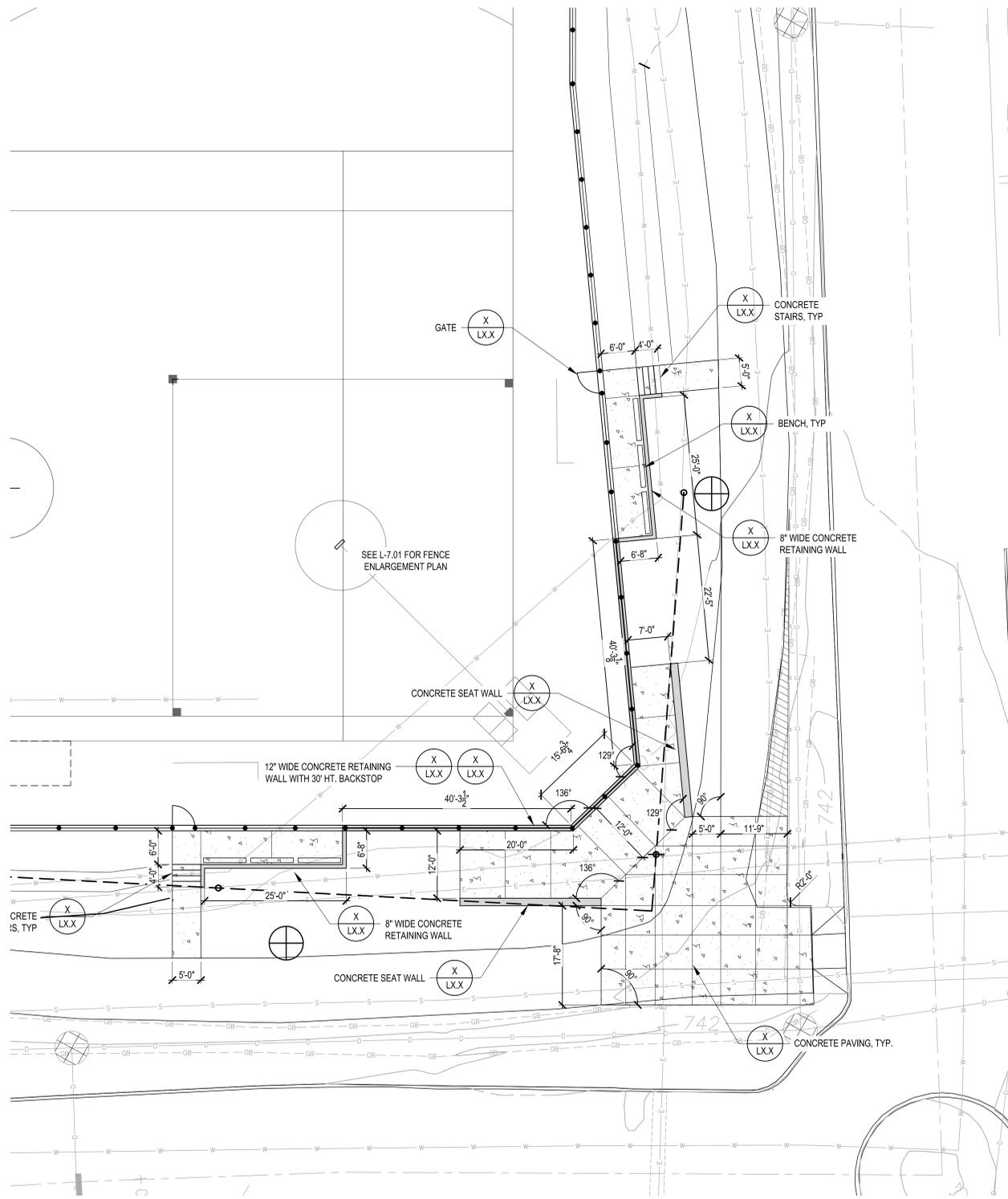
CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
 1907 PARK PLACE DRIVE NE
 ISSAQUAH, WA 98029



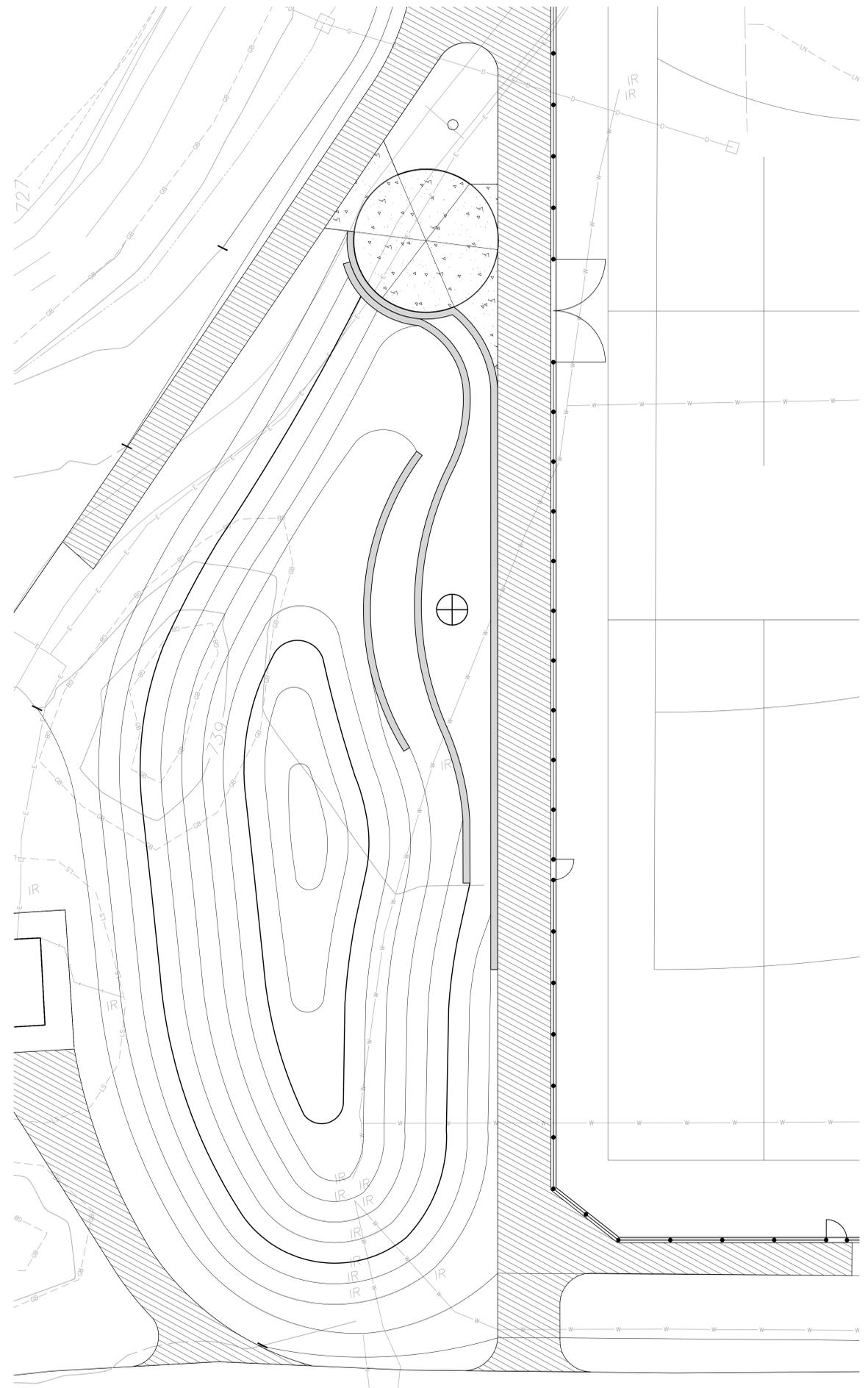
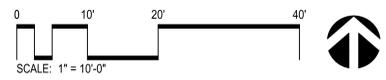
PROJECT NO.
FENCING LAYOUT

L-7.01

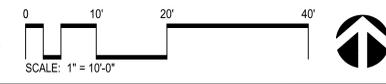
SHEET OF



1 ENLARGEMENT - 20' HT FENCE AT SOUTHWEST CORNER
SCALE: 1" = 10'-0"



2 ENLARGEMENT - 30' HT FENCE AT NORTHEAST CORNER
SCALE: 1" = 10'-0"



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11-18-2018			

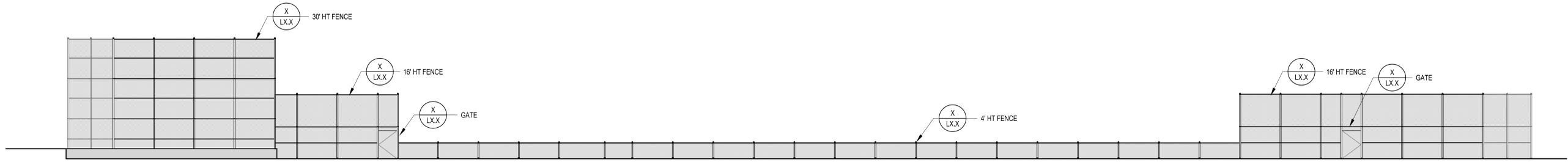


CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
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ISSAQUAH, WA 98029

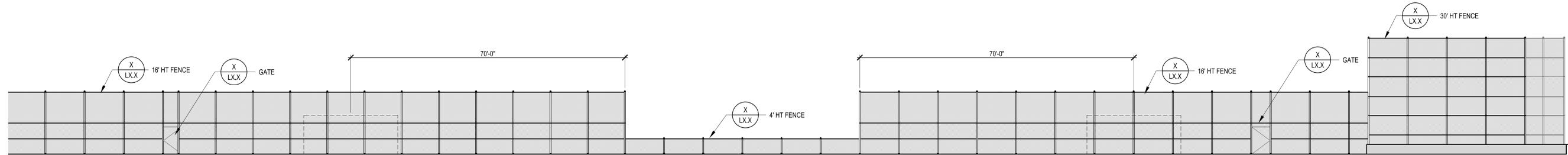


PROJECT NO.
LAYOUT PLAN - ENLARGEMENT

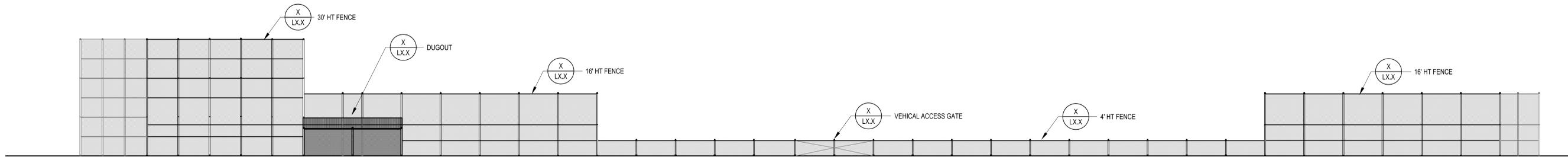
LX.X
SHEET ___ OF ___



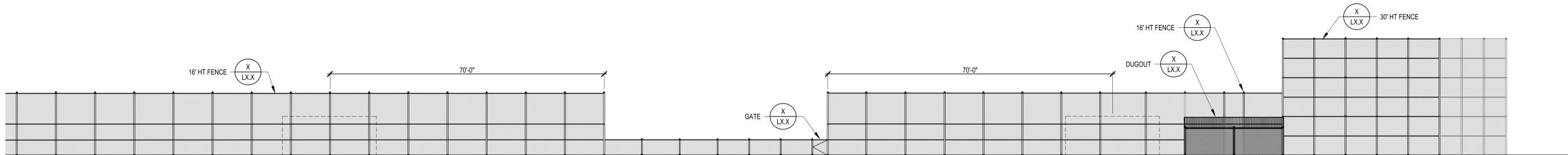
1 FENCE ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



2 FENCE ELEVATION - WEST
SCALE: 3/32" = 1'-0"



3 FENCE ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



4 FENCE ELEVATION - EAST
SCALE: 3/32" = 1'-0"

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11/19/15			



CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
1907 PARK PLACE DRIVE NE
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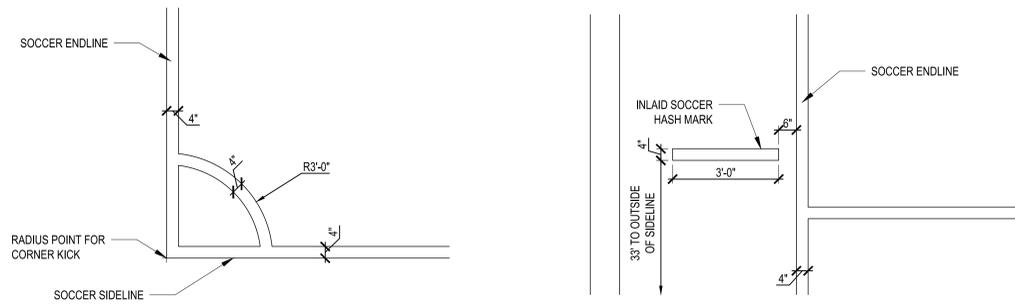


PROJECT NO.

FENCE ELEVATIONS

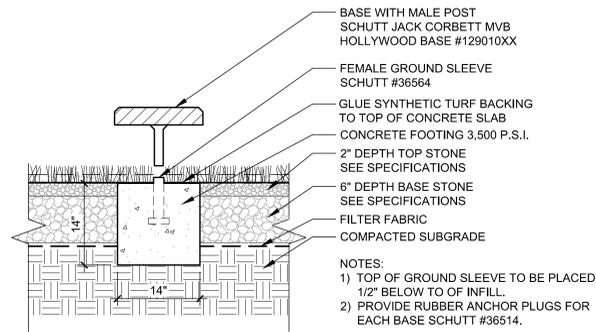
L-7.10

SHEET ___ OF ___

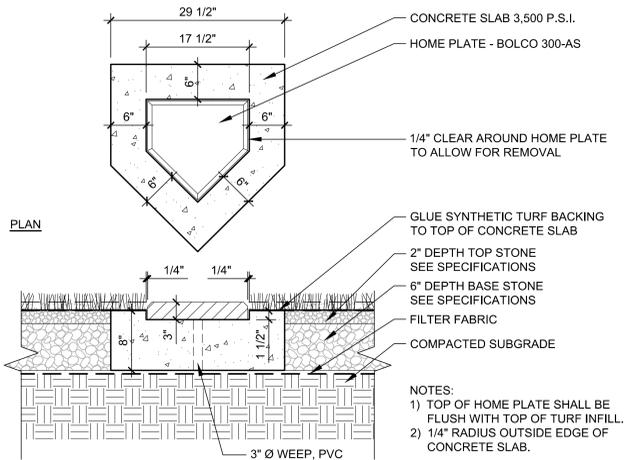


2 SOCCER CORNER KICK LINE
SCALE: 1/2"=1'-0"

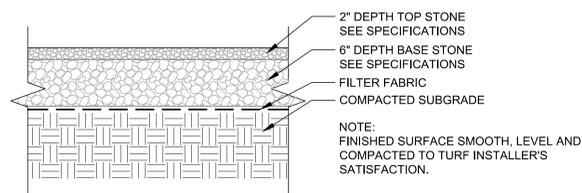
3 SOCCER HASH MARK
SCALE: 1/2"=1'-0"



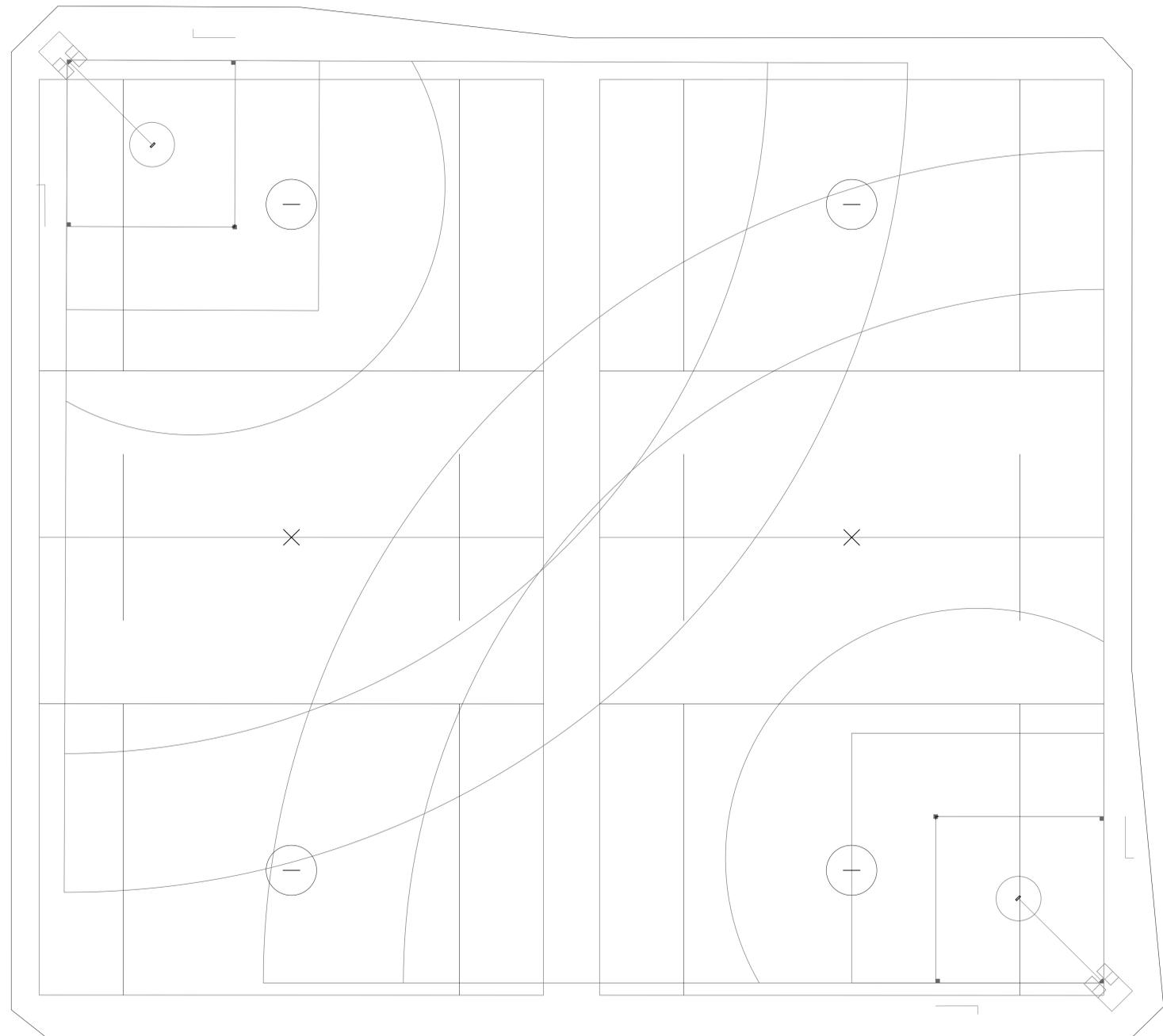
4 BASE ANCHOR
SCALE: 1"=1'-0"



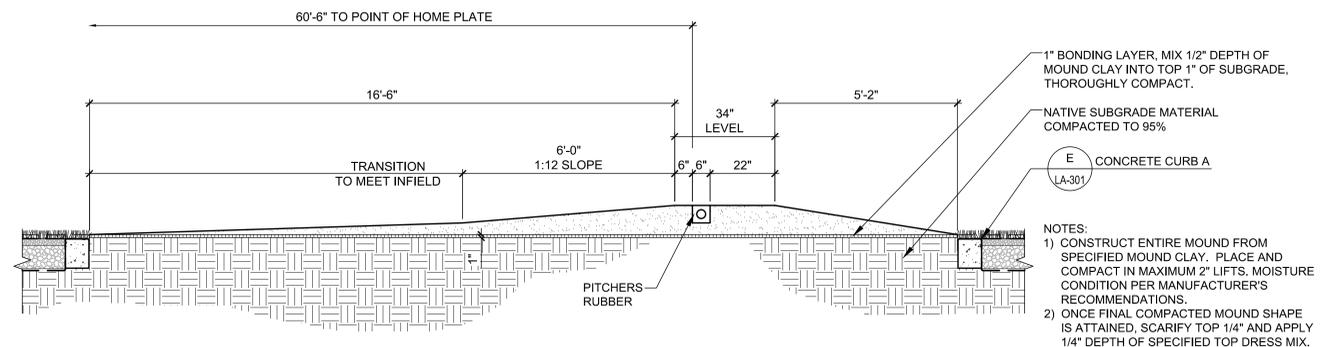
5 HOME PLATE
SCALE: 1"=1'-0"



6 BASE ROCK FOR SYNTHETIC TURF
SCALE: 1"=1'-0"



1 SOCCER AND BASEBALL FIELD - LAYOUT ENLARGEMENT
SCALE: 1"=20'-0"



7 PITCHERS MOUND
SCALE: 1/2"=1'-0"

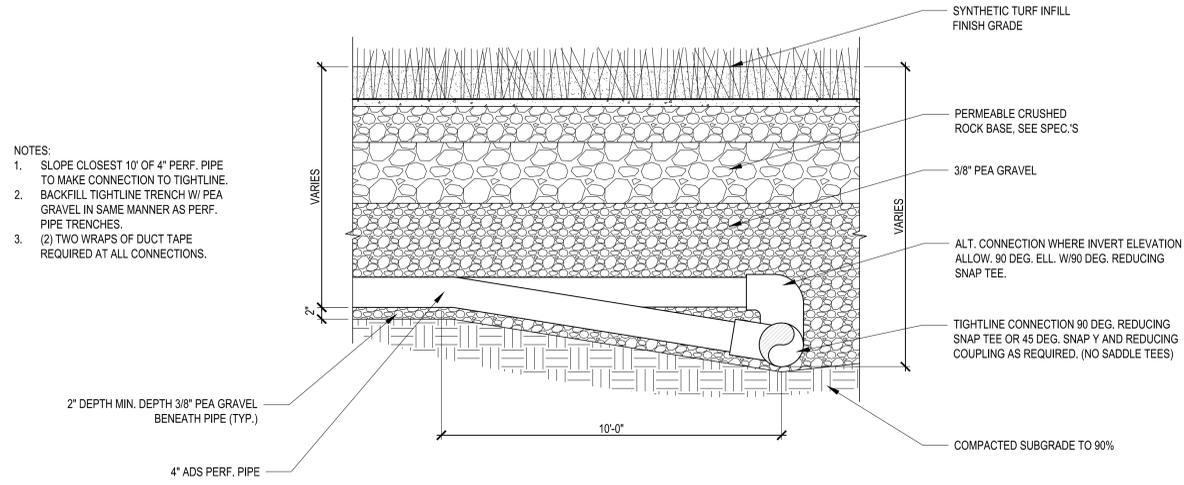
DATE	REVISION
11/18/15	



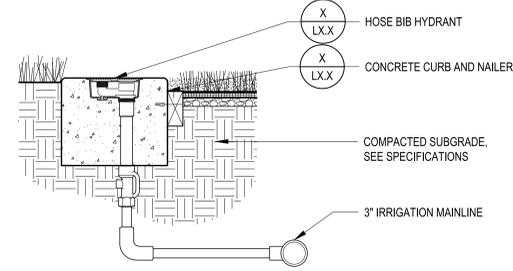
CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
1907 PARK PLACE DRIVE NE
ISSAQUAH, WA 98029



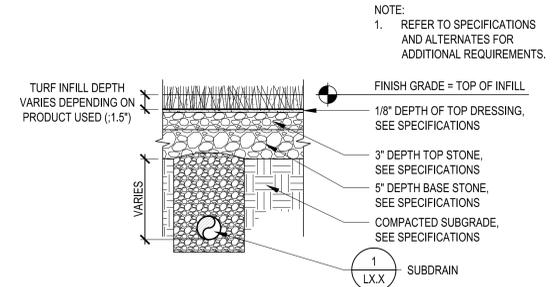
PROJECT NO.
DETAILS
L-8.01
SHEET <u> </u> OF <u> </u>



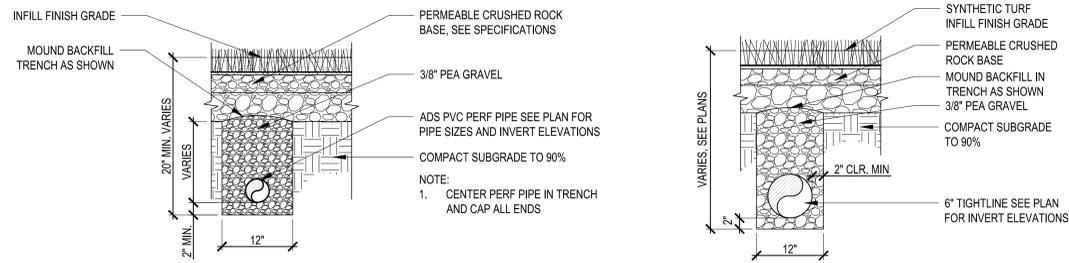
1 TRANSITION TO TIGHTLINE PERF
SCALE: 1"=1'-0"



2 HOSE BIB HYDRANT AT CURB
SCALE: 2"=1'-0"

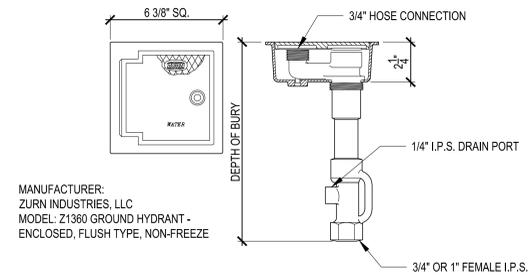


2 SYNTH - PERF - TRENCH
SCALE: 1"=1'-0"

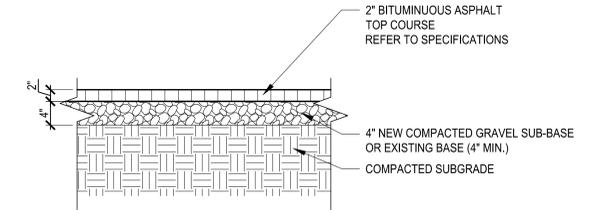


4 SYNTH - TURF 3-5
SCALE: 1"=1'-0"

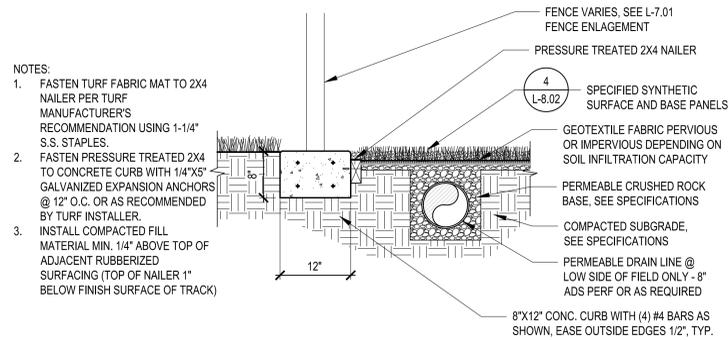
5 SYNTH - TIGHTLINE TRENCH
SCALE: 1"=1'-0"



6 HOSE BIB HYDRANT
SCALE: 3"=1'-0"



7 ASPHALT PAVING
SCALE: 1"=1'-0"



8 SYNTHETIC TURF AT CURB
SCALE: 1"=1'-0"

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CENTRAL PARK PAD 1 IMPROVEMENTS
100% DESIGN DEVELOPMENT SET
1907 PARK PLACE DRIVE NE
ISSAQUAH, WA 98029

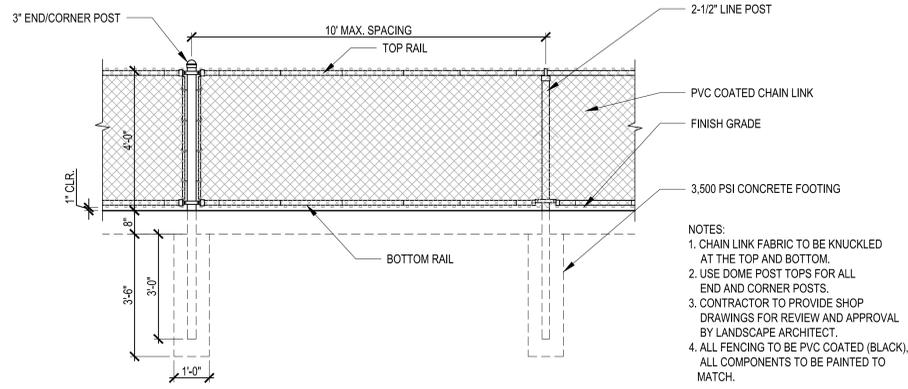


PROJECT NO.

DETAILS

L-8.02

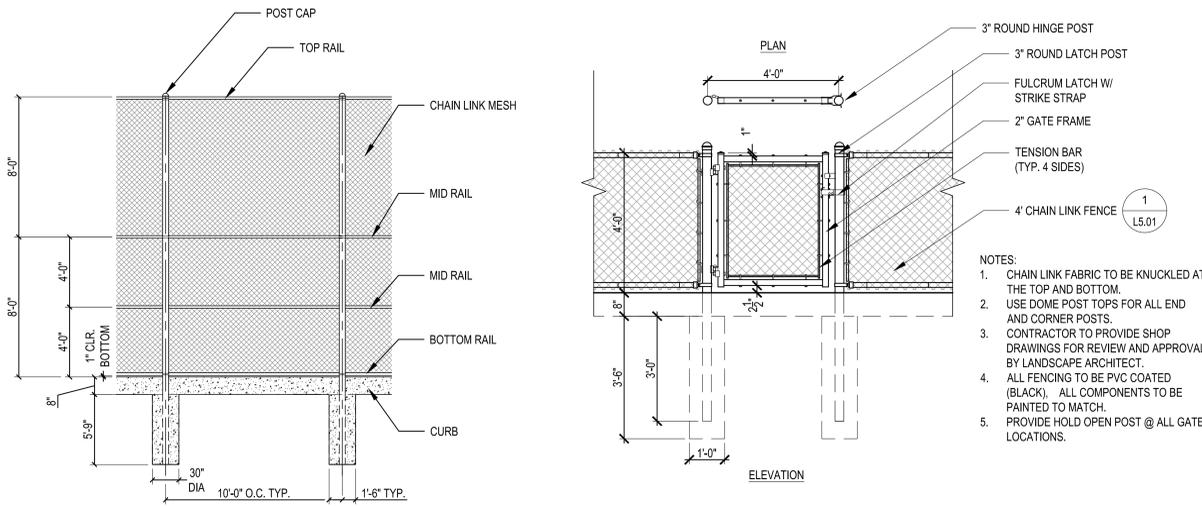
SHEET X OF X



- NOTES:
1. CHAIN LINK FABRIC TO BE KNUCKLED AT THE TOP AND BOTTOM.
 2. USE DOME POST TOPS FOR ALL END AND CORNER POSTS.
 3. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
 4. ALL FENCING TO BE PVC COATED (BLACK). ALL COMPONENTS TO BE PAINTED TO MATCH.

1 4' HT. CHAIN LINK FENCE

SCALE: 1/2"=1'-0"

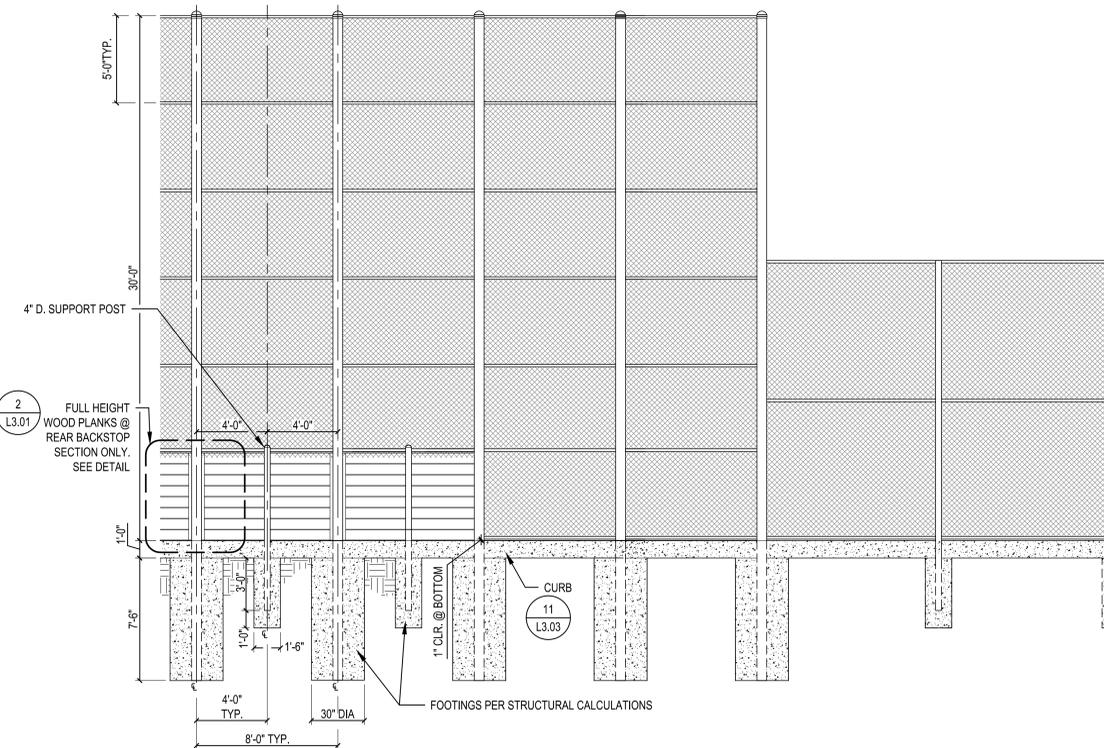


3 16' HT. CHAIN LINK FENCE

SCALE: 1/4"=1'-0"

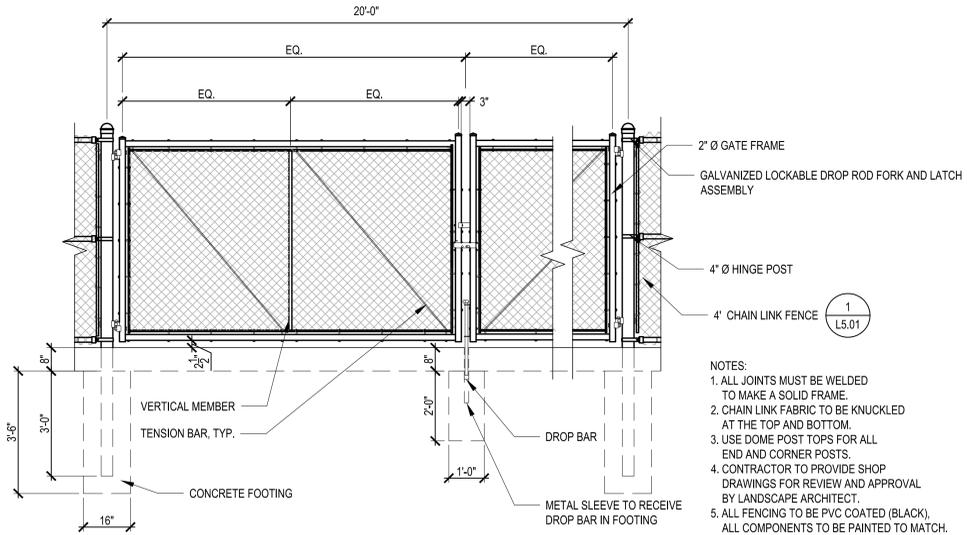
4 4' SWING GATE

SCALE: 1/2"=1'-0"



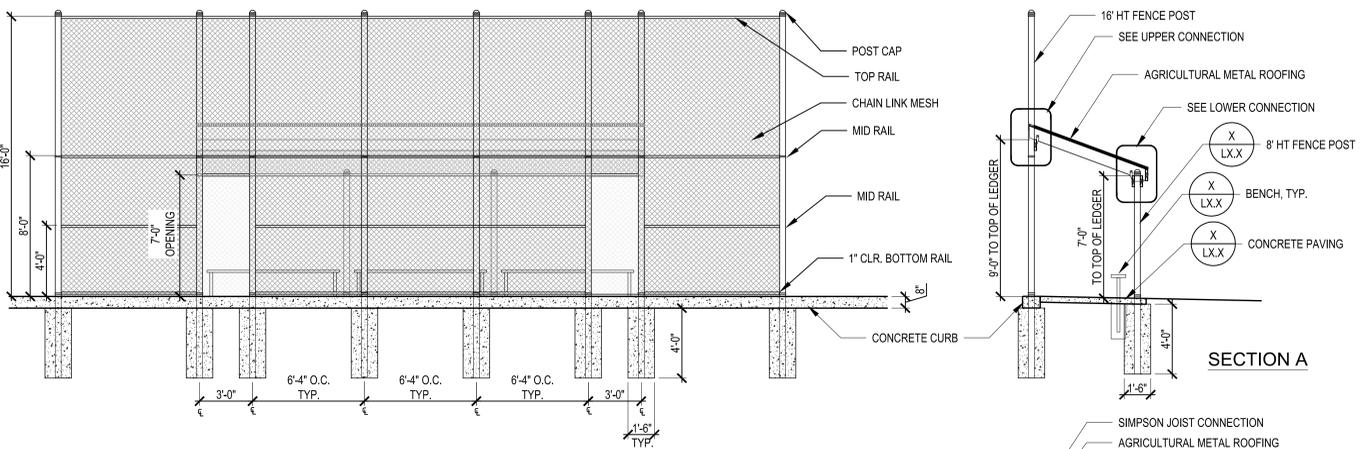
5 30' HT. BACKSTOP

SCALE: 1/4"=1'-0"



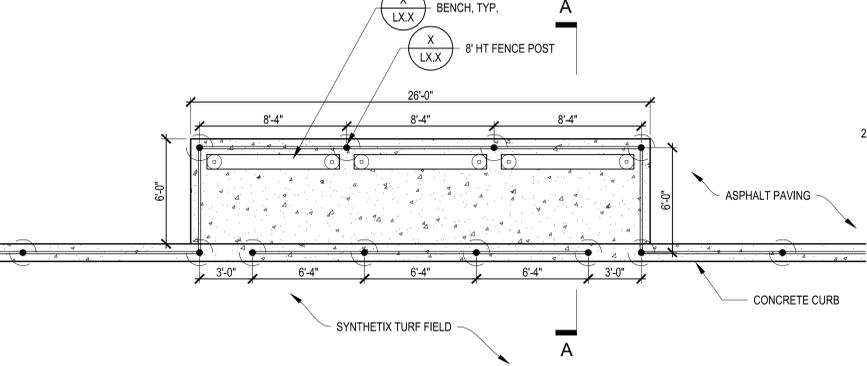
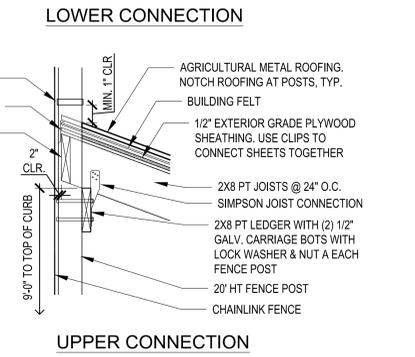
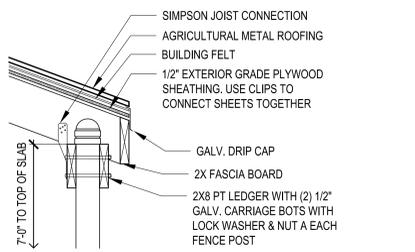
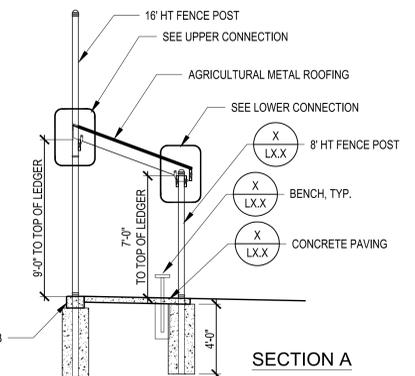
2 20' SWING GATE

SCALE: 1/2"=1'-0"

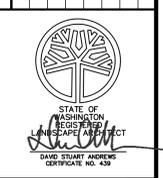


6 DUGOUT

SCALE: 1/4"=1'-0"



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CENTRAL PARK PAD 1 IMPROVEMENTS
 100% DESIGN DEVELOPMENT SET
 1907 PARK PLACE DRIVE NE
 ISSAQUAH, WA 98029



DETAILS

L-8.02

SHEET ___ OF ___