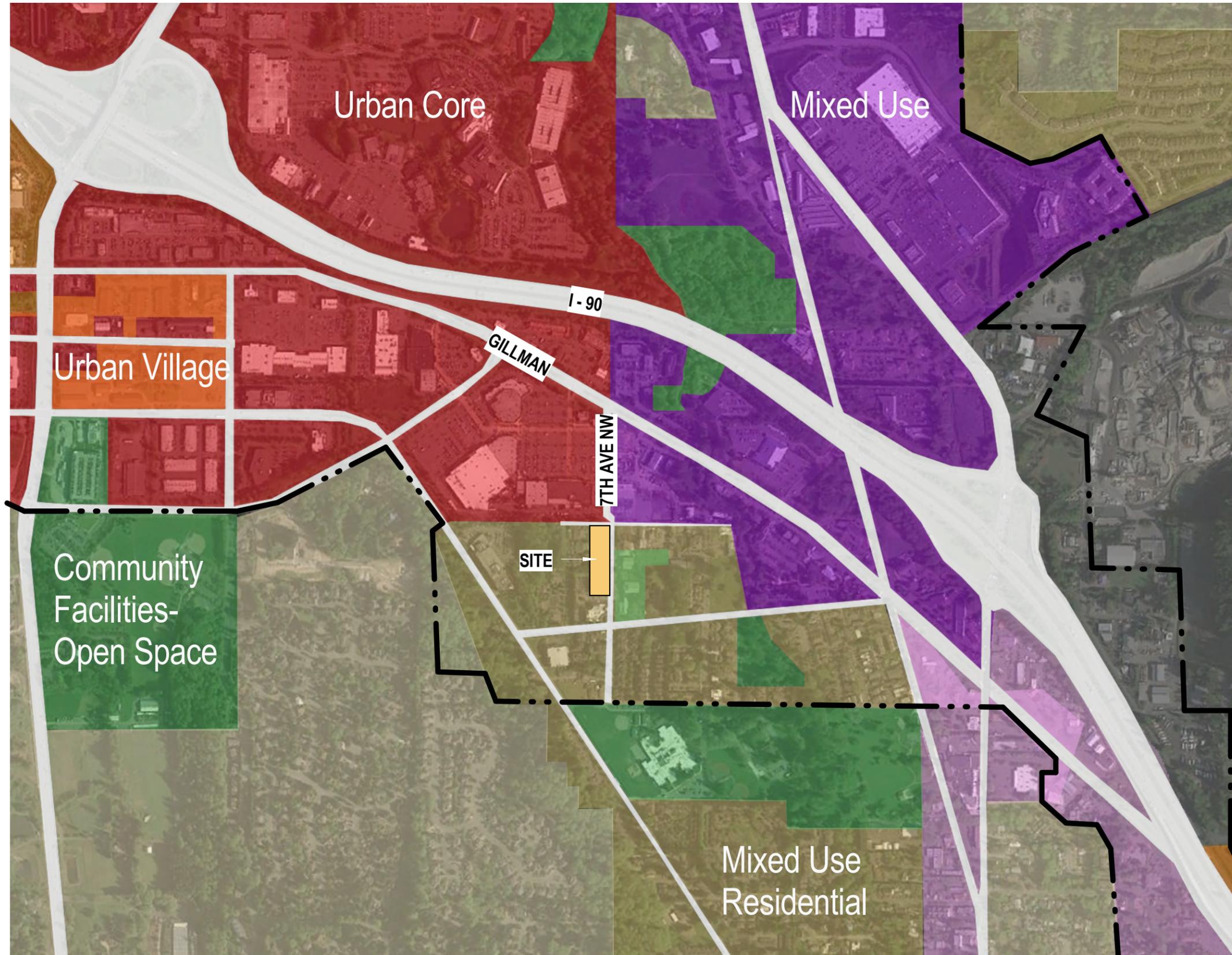




ISSAQUAH APARTMENTS

955 7TH AVE SW
ISSAQUAH, WA 98027

PROJECT OVERVIEW / ZONING MAP



PROPOSAL SUMMARY

PROJECT SITE

Site Address: 955 7th Ave NW Issaquah, WA 98027
 Tax ID #: 884430-0122, 884430-0035, 884430-0036
 Site Area: 54,000 SF (1.24 acres)
 Zoning: MUR - mixed use residential

PRINCIPAL USES

Number of Residential Units: 110 Units - Multifamily Apartments
 Residential Amenity Area Prop'd: 3,280 SF - Rooftop Garden (level 2/ roof)
 1,180 SF - Amenity Lounge (level 2)
 Commercial Uses Proposed: None

PARKING / ACCESSORY USES

Parking Provided: 110 stalls - residential (targeted at 1.0 stalls / unit avg.)

DEVELOPMENT OBJECTIVES

The proposed project is a multi-story development comprised of one residential apartment tower of wood-frame VA Construction Type over a common open concrete parking structure of IA construction. The project will contain approximately 110 apartments which will be a mixture of unit types consisting of studios, one-bedroom, one-bedroom lofts, and two bedroom units for households ranging from one to four people. The goal of this unit mix is to meet the local demographic demand with emphasis on roommates and young families with children while still providing housing for single professionals. The project proposes the use of on grade parking with approximately 1.00 parking spaces per unit. The project's total target FAR is the zoning maximum of 2.0 when including all bonus development incentives such as affordable housing per City of Issaquah standards. Residential amenities such as lounges, outdoor open space, and fitness center to be provided in addition to on-site leasing center and associated services. Parking to be provided at surface, no subterranean garage is proposed.

LEGAL DESCRIPTION

PARCEL A:
 THE NORTH 200 FEET OF LOT 1, BLOCK 2, HERBERT S. UPPER'S THIRD ADDITION TO ISSAQUAH, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 21 OF PLATS, PAGE 56, IN KING COUNTY, WASHINGTON.

PARCEL B:
 LOT 1, LESS THE NORTH 200 FEET THEREOF, AND THE NORTH 30 FEET OF LOT 15, BLOCK 2, HERBERT S. UPPER'S THIRD ADDITION TO ISSAQUAH, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 21 OF PLATS, PAGE 56, IN KING COUNTY, WASHINGTON.

SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON.

PARCEL C:
 THE SOUTH 60 FEET OF THE NORTH 150 FEET OF LOT 15 IN BLOCK 2 AND THE SOUTH 60 FEET OF THE NORTH 90 FEET OF LOT 15 IN BLOCK 2 OF H.S. UPPER'S THIRD ADDITION TO ISSAQUAH, AS PER PLAT RECORDED IN VOLUME 21 OF PLATS, PAGE 56, RECORDS OF KING COUNTY, WASHINGTON.

ISSAQUAH APARTMENTS

955 7th Avenue NW
 Issaquah, WA 98027

ISSY 7TH AVE, LLC

SITE DEVELOPMENT PERMIT
 April 19, 2016

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DEVELOPMENT SUMMARY

DEVELOPMENT OBJECTIVES & SITE ANALYSIS

SITE & VICINITY DESCRIPTION

The project is located immediately south of the Issaquah Commons Shopping Center and centrally between the Newport Way and NW Gillman Boulevard arterials. This area serves as a critical link between the commercial urban areas to the north and the residential areas to the south. The East edge of the project site is facing 7th Ave NW. The North edge is facing NW Locust St which is flanked by the pedestrian Juniper Trail edging along the southern border of Issaquah Commons. Along the South edge is a two-story commercial office building with a surface parking lot abutting the Southern and portion of the Eastern property lines. The remainder of the West edge is backed by an assisted living residential development with three 2 storey buildings surrounded by landscaping. The site is 3 connected lots with 2 lots being currently un-developed area, and the third with a single-story residence and detached garage. The immediate adjacent area is predominantly built-out by a variety of single-storey and two-storey suburban style commercial buildings, single family homes, multi-family buildings, and a retail commercial center to the North. Opposite the project site on 7th Ave NW is a vacant lot, a Recycling Center, and an AtWork! employment training center. To the Northwest of the site a new 344 unit multifamily building is currently under construction. Issaquah Creek is approximately 1,000 feet to the East. The site offers views to Squak Mountain to the south, Cougar Mountain to the east, and Tiger Mountain to the southwest.

SUSTAINABLE DEVELOPMENT OBJECTIVES

The project is proposed to be developed in line with common sustainable building practices and materials to the maximum extent feasible. The owner intends to maintain ownership of the project as a long term investment, and as such will place a premium on energy and long term operational cost saving opportunities. The Client's vision for the project as a Boutique Living Environment will encourage tenant participation in sustainability methods through individual utility metering to track usage, encourage alternative means of transportation, and providing 'high touch' services such as free biodegradable dish soaps, etc. Additionally, the project proposes re-purposing the existing Cedar Trees onsite that will be removed by milling them into on-site benches and interior finishes. By harvesting a community nature among the tenants encourages a sense of a community stewardship that ultimately promotes all other sustainable practices.

The Client and design team has met with the City of Issaquah sustainability team and third party consultant Fermata to discuss potential opportunities for the project. At this time, no specific sustainability certification target has been formally established by the project team nor has a decision been reached regarding formally certifying the project. The client and design team will consult DSIREusa.com for state and federal incentives that apply to the project. The Client has also expressed strong interest in Salmon Safe and potentially becoming a pilot project for Built Green 5 star and above.

Typical projects by this development team would meet LEED-Certified or Built-Green 3-Star standards regardless of Client's certification target. Typical design features will include LID strategies for storm water management, energy efficient appliances / fixtures / mechanical systems, water-efficient fixtures and irrigation / planting designs, and locally-sourced and low-VOC materials and finishes. Pricing alternates will be investigated for geo-thermal heating/ cooling, storm water re-use, rainwater harvesting, solar hot water, as a way to incorporate sustainable strategies into already existing challenges required for the site. Affordable housing will be provided on site as well as additional infrastructure supporting bicycle users, electric vehicles, and micro-size, and ride-share vehicles will be provided.



ISSAQUAH APARTMENTS

955 7th Avenue NW
Issaquah, WA 98027

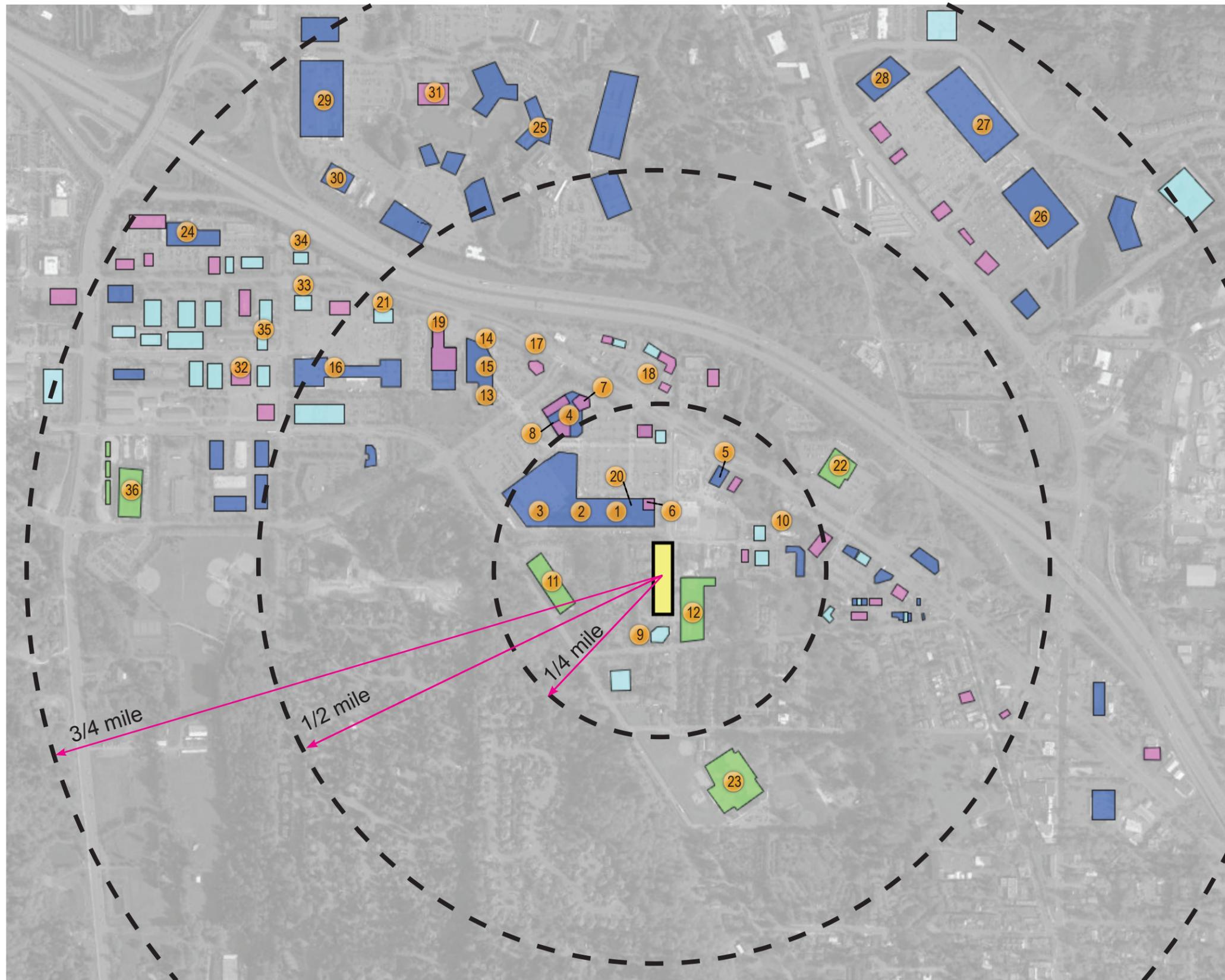
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DEVELOPMENT PATTERN

NEIGHBORHOOD DEVELOPMENT WITHIN 1/4 MILE

- | | |
|--------------------------|---------------------------|
| RETAIL | COMMERCIAL |
| 1 SAFEWAY | 9 ISSAQUAH DENTAL ARTS |
| 2 REI | 10 KEY BANK |
| 3 TARGET | |
| 4 BED BATH AND BEYOND | PUBLIC AMENITIES |
| 5 O'RIELY AUTO PARTS | 11 KING COUNTY LIBRARY SC |
| | 12 AT WORK! |
| FOOD AND BEVERAGE | |
| 6 STARBUCKS | |
| 7 CHIPOLTLE | |
| 8 PANERA BREAD | |

NEIGHBORHOOD DEVELOPMENT WITHIN 1/2 MILE

- | | |
|---------------------------|--------------------------------------|
| RETAIL | COMMERCIAL |
| 13 TRADER JOES | 20 BECU |
| 14 PETCO | 21 BANK OF AMERICA |
| 15 ROSS | |
| 16 SPORTS AUTHORITY | PUBLIC AMENITIES |
| | 22 US POST OFFICE |
| FOOD AND BEVERAGE | INSTITUTIONAL |
| 17 WILDFIN AMERICAN GRILL | 23 ISSAQUAH VALLEY ELEMENTARY SCHOOL |
| 18 BIG FOOT JAVA | |
| 19 TACO TIME | |

NEIGHBORHOOD DEVELOPMENT WITHIN 3/4 MILE

- | | |
|--------------------------|----------------------------|
| RETAIL | COMMERCIAL |
| 24 QFC | 33 CHASE BANK |
| 25 COSTCO | 34 WELS FARGO |
| 26 HOME DEPOT | 35 US BANK |
| 27 FRED MEYER | |
| 28 BEST BUY | PUBLIC AMENITIES |
| 29 LOWES | 36 ISSAQUAH TRANSIT CENTER |
| 30 PETSMAST | |
| FOOD AND BEVERAGE | |
| 31 RED ROBIN | |
| 32 GASLAMP BAR & GRILL | |

MAP LEGEND

- | | |
|---|---|
| RETAIL | COMMERCIAL |
| FOOD AND BEVERAGE | PUBLIC AMENITIES |

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PUBLIC TRANSPORTATION AND TRAILS

BUS ROUTES WITHIN 5 MIN WALK (7TH AVE NW AND GILMAN BLVD)

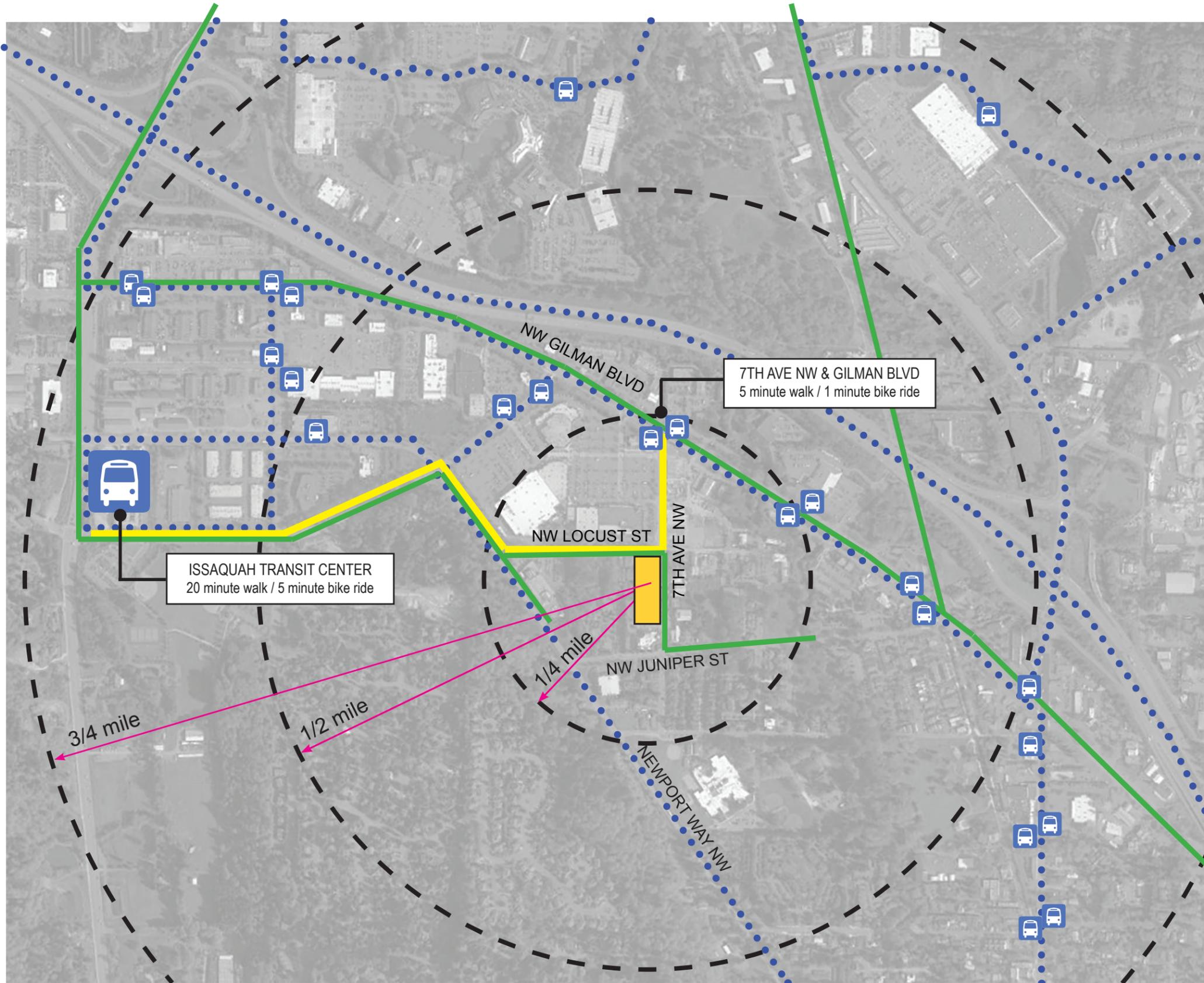
- ROUTE 200
Weekdays every 35 min.
Local route through Issaquah
- ROUTE 208
Weekdays every 2 hours 15 min.
Regional route to Snoqualmie and North Bend
- ROUTE 214
Weekdays every 10-20 min.
Regional route from Issaquah through Mercer Island to Downtown Seattle
- ROUTE 271
Weekdays every 30 min.; weekends every 30 min.
Regional Route from Issaquah through Bellevue

BUS ROUTES WITHIN 18 MIN WALK (ISSAQUAH TRANSIT CENTER)

- ROUTE 269
Weekdays; every 20-30 min.
Regional Route from Issaquah through Bear Creek to Overlake
- ROUTE 554
Weekdays every 20 min.; Weekends every 30 min.
Sound Transit route from Redmond through Issaquah to Downtown Seattle
- ROUTE 555
Weekdays every 20 min.
Sound Transit route from Issaquah through Bellevue and University District to Northgate
- ROUTE 556
Weekdays every 30 min.
Sound Transit route from Issaquah through Bellevue and University District to Northgate

MAP LEGEND

-  PUBLIC TRAIL
-  BUS ROUTE
-  DIRECT PEDESTRIAN/ BIKE ROUTE FROM SITE



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ISSAQUAH COMMONS SHOPPING CENTER



AEGIS ASSISTED LIVING COMMUNITY



INNESWOOD APARTMENTS
93 UNIT APARTMENT DEVELOPMENT - (Under Landuse Review)



ATLAS APARTMENTS
344 UNIT MULTIFAMILY DEVELOPMENT - (Under Construction)



ATWORK! RECYCLING SITE



JUNIPER PROFESSIONAL BUILDING
Adjacent parcel to South

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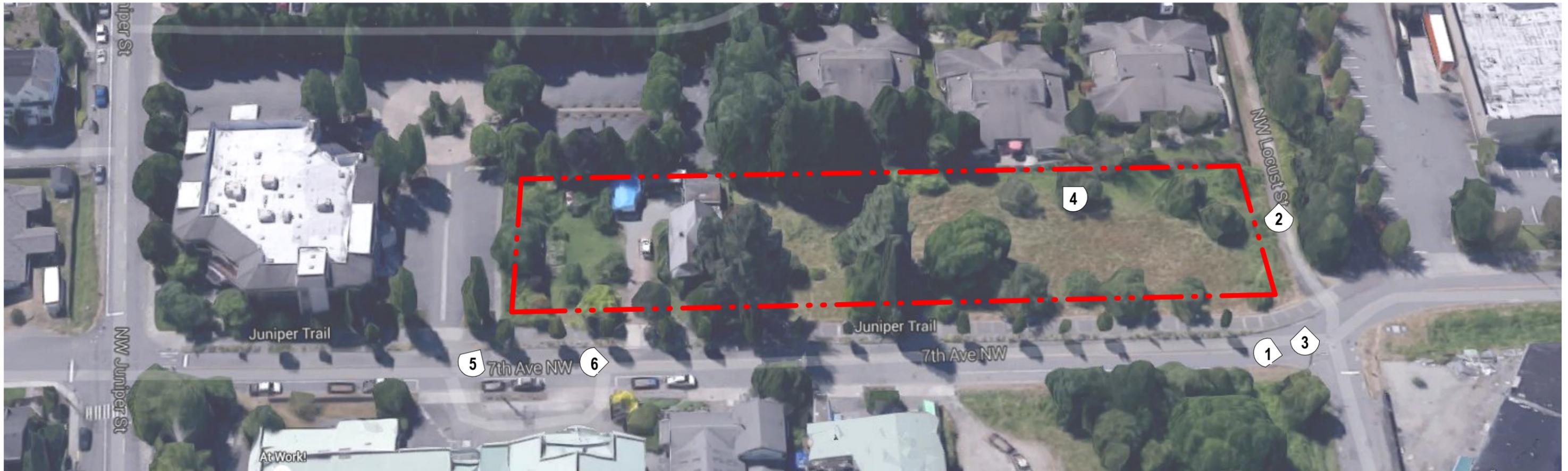
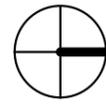
SITE CONTEXT



AERIAL B - LOCUST ST FACING SOUTH



AERIAL MAP



AERIAL A - 7TH AVE NW FACING WEST

ISSAQUAH APARTMENTS

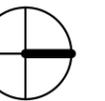
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1 - 7TH AVE NW AND NW LOCUST STREET



2 - NW LOCUST STREET - LOOKING WEST



3 - NW LOCUST STREET AND JUNIPER TRAIL - LOOKING WEST



4 - WEST PROPERTY LINE - LOOKING WEST



5 - SOUTH PROPERTY LINE - LOOKING NORTH



6 - 7TH AVE NW - LOOKING NORTH

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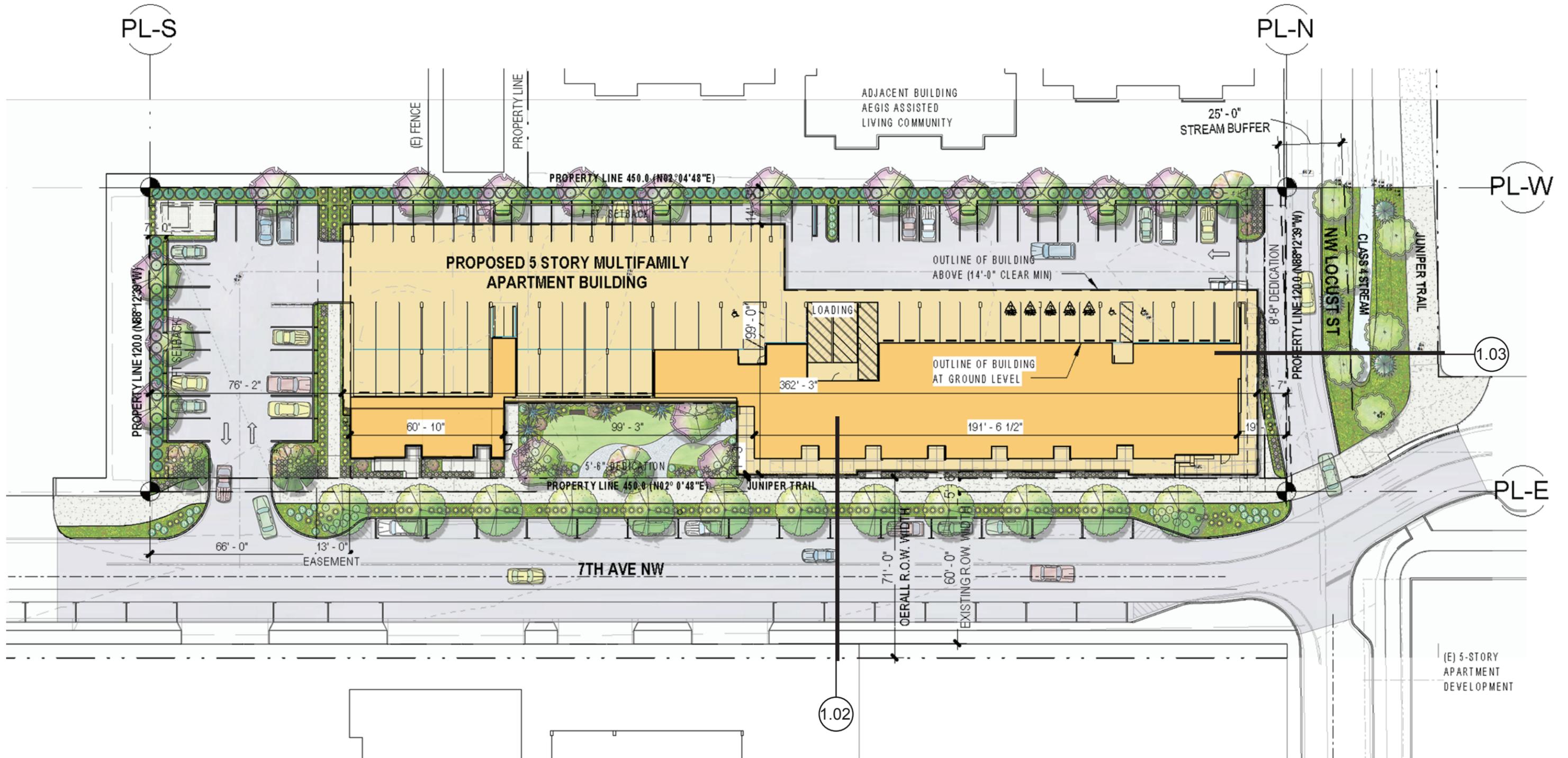
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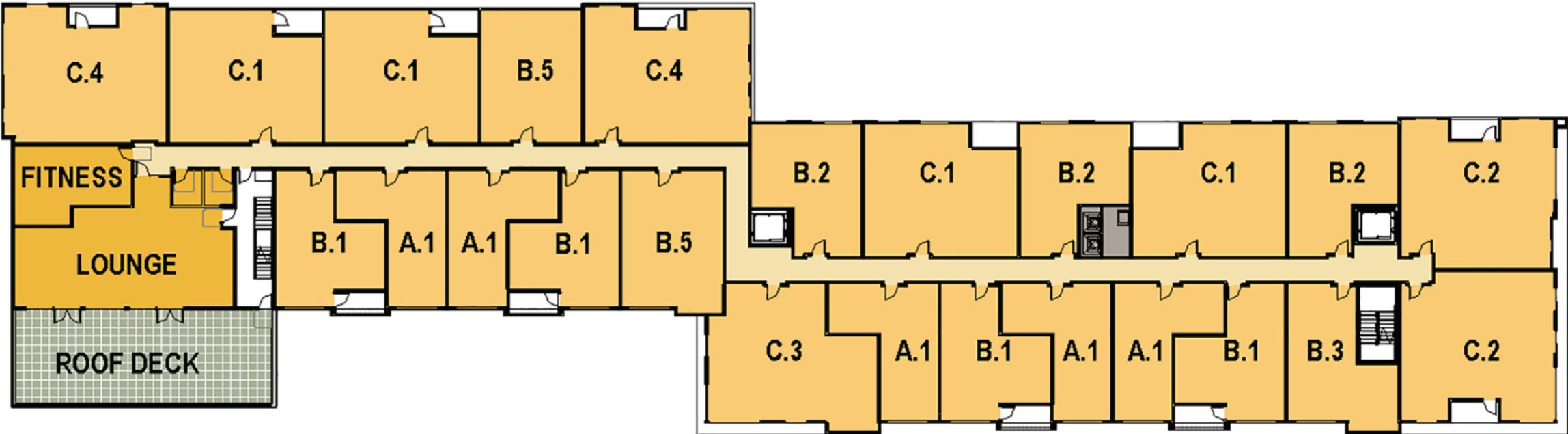
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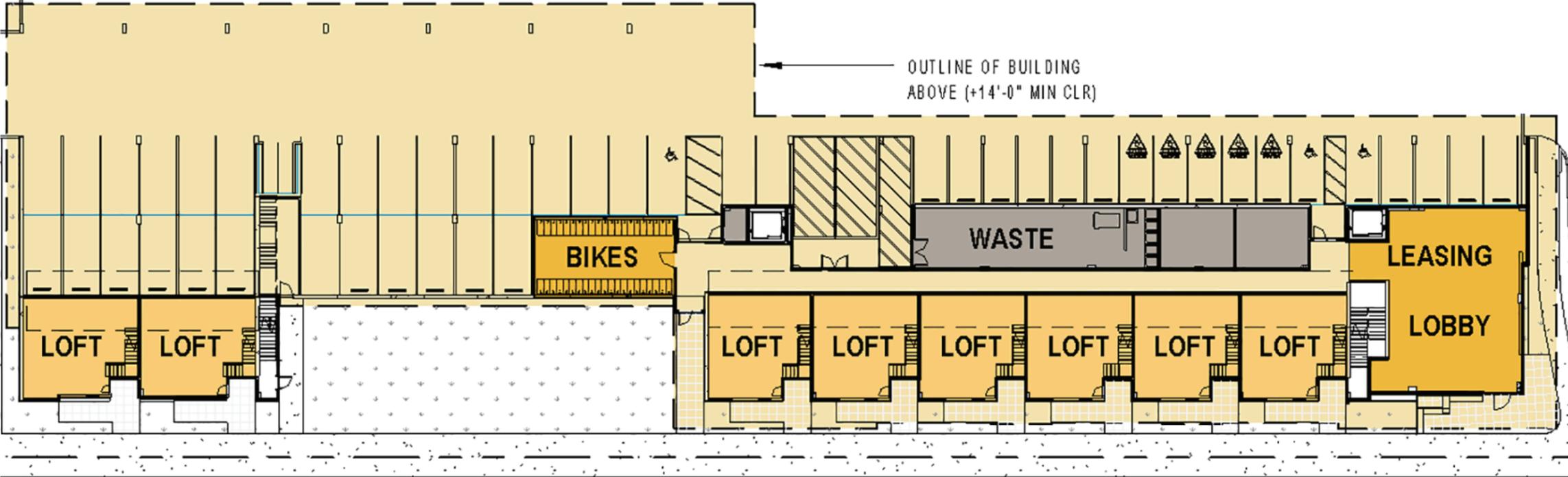
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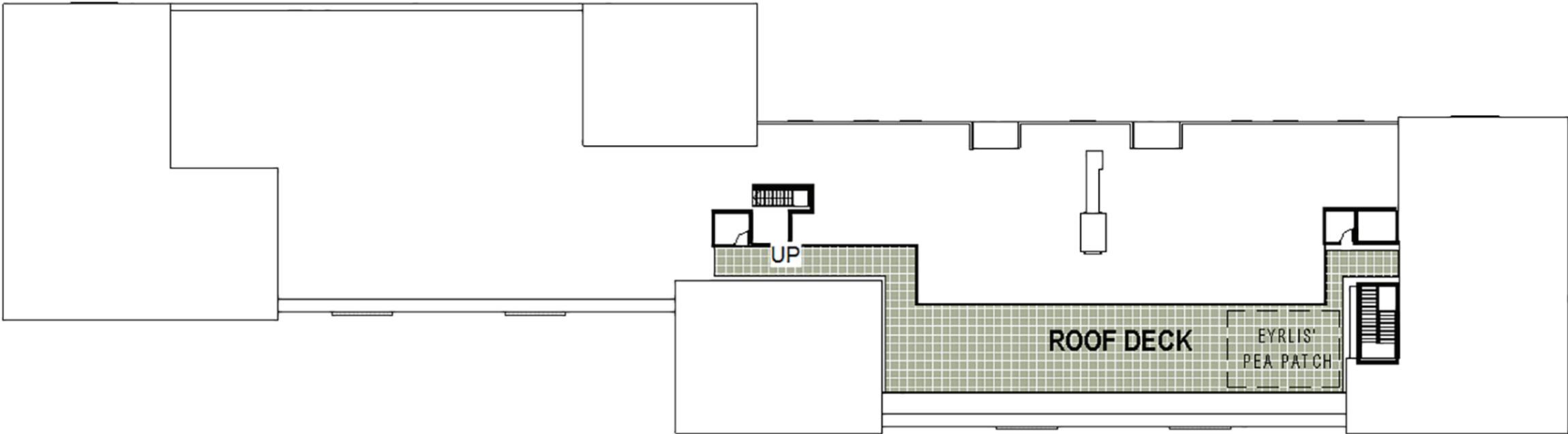




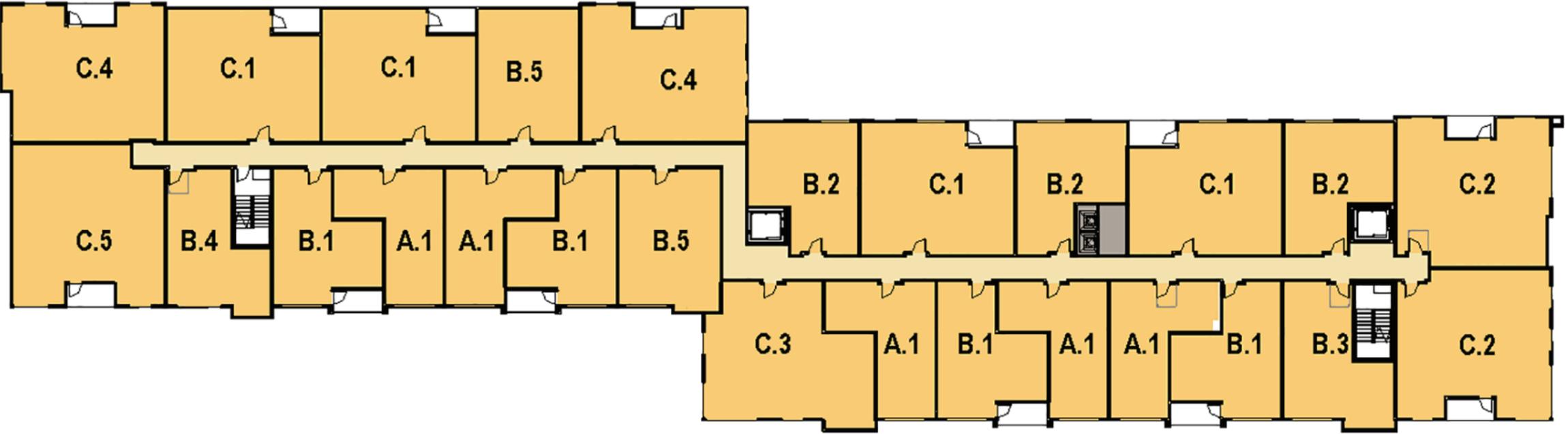
LEVEL 2 FLOOR PLAN



GROUND LEVEL FLOOR PLAN



ROOF PLAN



TYPICAL RESIDENTIAL FLOOR PLAN (L3-L5)

MATERIAL SCHEDULE

- | | |
|-----------------------------|-----------------------------|
| 1 CEMENT BOARD - SW-6243 | 7 SYNTHETIC WOOD PANEL |
| 2 CEMENT BOARD - SW-7667 | 8 EXPOSED CONCRETE |
| 3 CEMENT BOARD - SW SW-7003 | 9 VINYL WINDOWS |
| 4 CEMENT BOARD - SW SW-2848 | 10 ARCHITECTURAL COMPONENTS |
| 5 METAL PANEL SIDING | 11 GREEN SCREEN |
| 6 THIN BRICK VENEER | |



NORTH ELEVATION - NW LOCUST ST



EAST ELEVATION - 7TH AVE NW

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MATERIAL SCHEDULE

- | | |
|-----------------------------|-----------------------------|
| 1 CEMENT BOARD - SW-6243 | 7 SYNTHETIC WOOD PANEL |
| 2 CEMENT BOARD - SW-7667 | 8 EXPOSED CONCRETE |
| 3 CEMENT BOARD - SW SW-7003 | 9 VINYL WINDOWS |
| 4 CEMENT BOARD - SW SW-2848 | 10 ARCHITECTURAL COMPONENTS |
| 5 METAL PANEL SIDING | 11 GREEN SCREEN |
| 6 THIN BRICK VENEER | |



SOUTH ELEVATION



WEST ELEVATION

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MATERIAL BOARD



- 1 CEMENT PANEL SIDING - BODY**
 Cement board panel siding with prefabricated flashing reveals and a closed-joint rainscreen system. Paint color is "Distance", SW-6243 by Sherwin Williams.
- 2 CEMENT PANEL SIDING - BODY**
 Cement board panel siding with prefabricated flashing reveals and a closed-joint rainscreen system. Paint color is "Zircon", SW-7667 by Sherwin Williams.
- 3 CEMENT BOARD LAP SIDING ACCENT**
 Cement board lap siding with prefabricated flashing reveals and a closed-joint rainscreen system. Paint color is "Toque White", SW-7003 by Sherwin Williams.
- 4 CEMENT PANEL SIDING - ACCENT**
 Cement board panel siding with prefabricated flashing reveals and a closed-joint rainscreen system. Paint color to match metal panel, "Roycroft Pewter", SW-2848 by Sherwin Williams.
- 5 METAL PANEL SIDING**
 Metal panel 12" vertical siding. Flat pan, no reveal, with 2 pencil ribs. Prestiege Series "Cool Zatique II", by AEP-Span or similar.
- 6 BRICK VENEER**
 Standard 2 1/2" with raked joints. "Mauna Loa" series, by Mutual Materials or similar.
- 7 SYNTHETIC WOOD PANEL SIDING**
 High density laminate timber panel with expressed horizontal reveals. Panel color is "Copper" Facade, by Parklex or similar.
- 8 EXPOSED CONCRETE WALLS**
 Architectural concrete walls with cast reveal joints.
- 9 RESIDENTIAL WINDOWS**
 Vinyl windows, color to be "white".
- 10 RAILINGS, AWNINGS, & SCREENS**
 Painted metal railings, awnings, and screening components.
- 11 FLASHINGS & CAPS**
 Metal to match adjacent material colorings.



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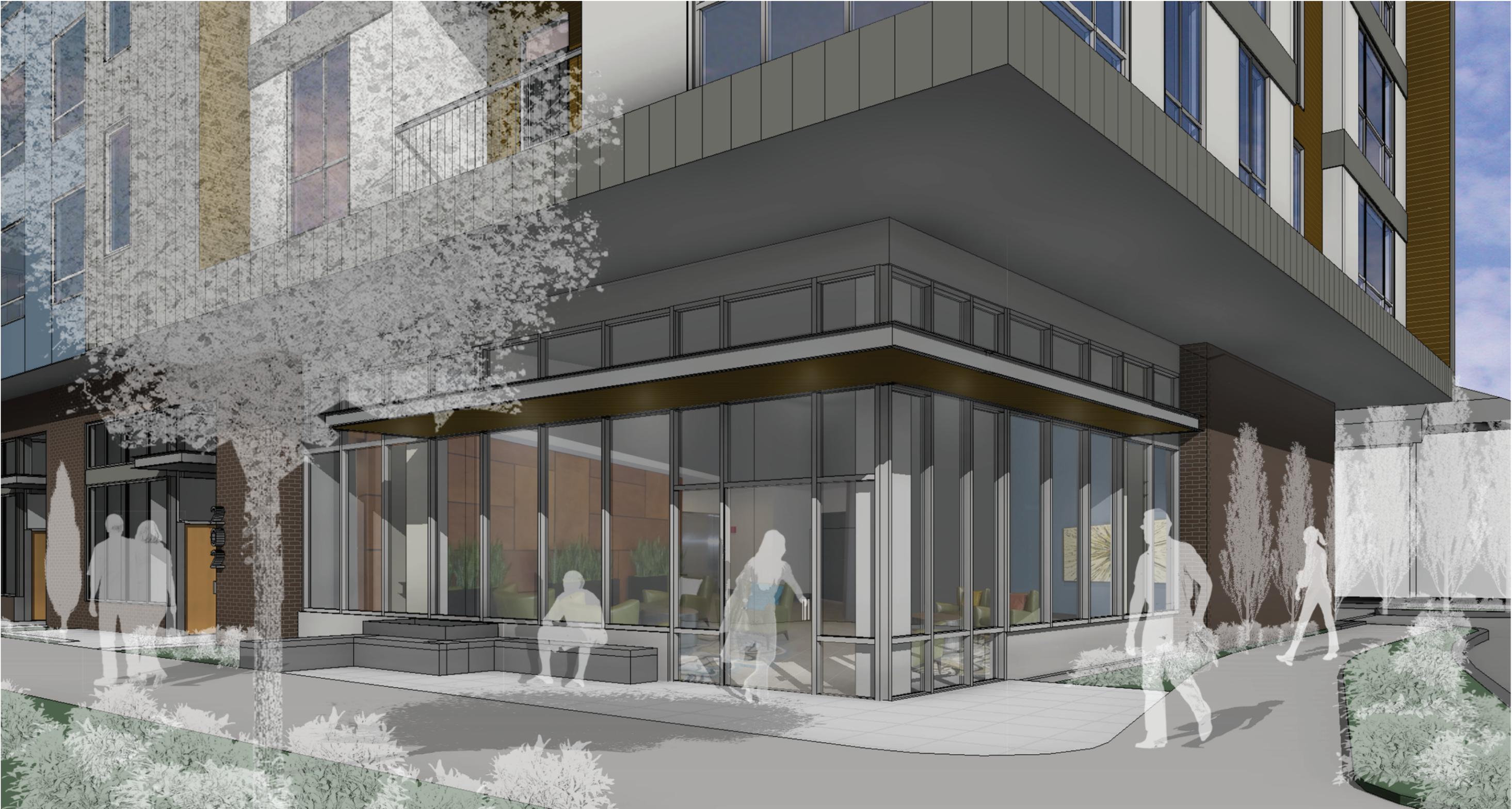
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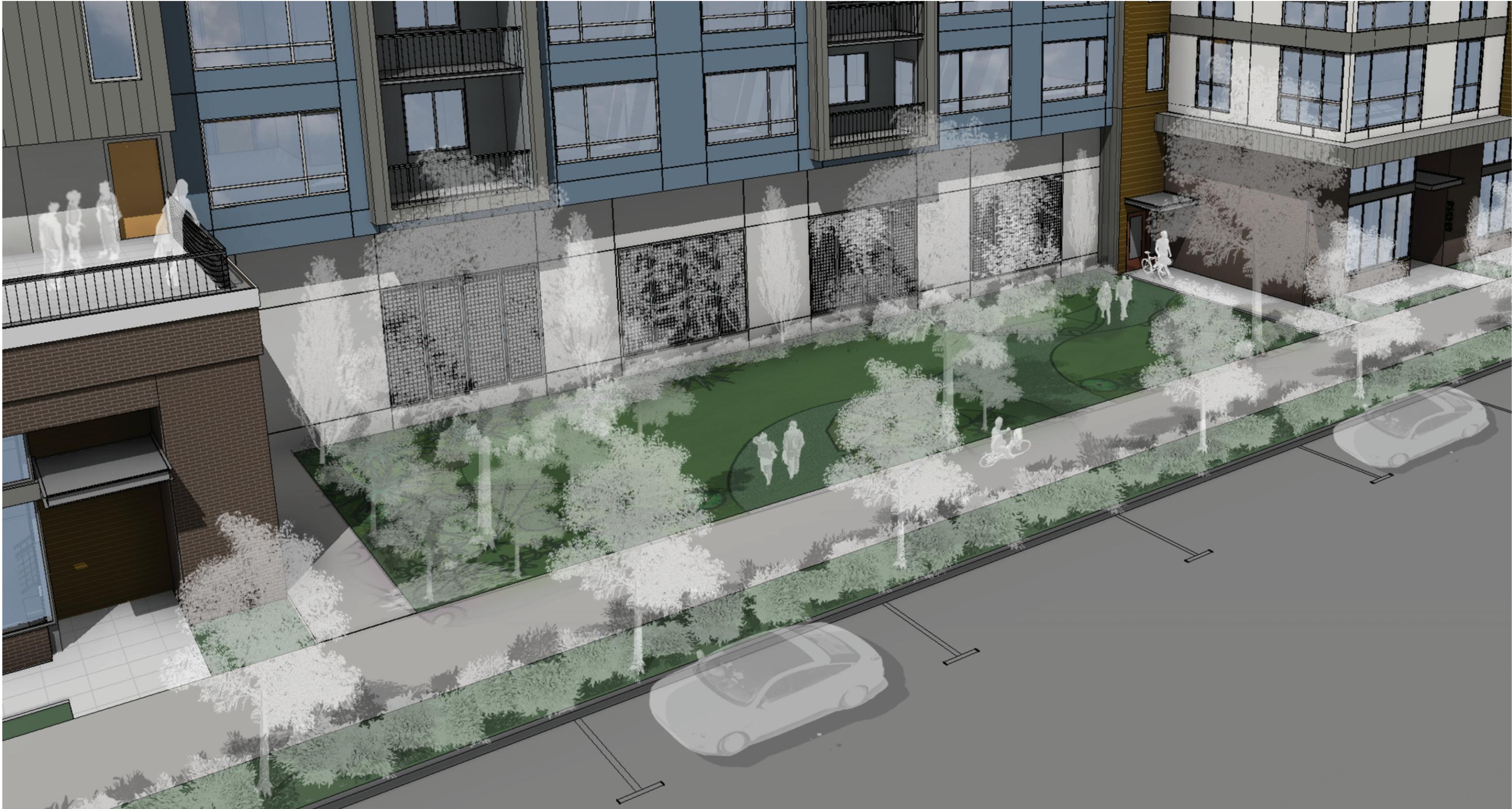
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PRELIMINARY LANDSCAPE LEGEND

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	SPACING	NATIVE	DROUGHT TOLERANT	REMARKS
TREES								
	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAN	2.5" CAL.	B&B	PER PLAN		YES	
	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	2" CAL.	B&B	PER PLAN		YES	
	CORNUS 'EDDIE'S WHITE WONDER'	HYBRID WHITE DOGWOOD	2" CAL.	B&B	PER PLAN		YES	
	THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	6' HT.	B&B	PER PLAN		YES	
	JUNIPERUS CHINENSIS 'TORULOSA'	HOLLYWOOD JUNIPER	6' HT.	B&B	PER PLAN		YES	
SHRUBS								
	ABELIA X GRANDIFLORA 'KALEIDOSCOPE'	KALEIDOSCOPE ABELIA	2 GAL.	CONT.	3' O.C.		YES	
	ARBUTUS UNEDO 'COMPACTA'	COMPACT STRAWBERRY TREE	30" HT.	CONT.	4' O.C.		YES	
	AZALEA 'GIRARD'S FUSCHIA'	GIRARD'S FUSCHIA EVERGREEN AZALEA	2 GAL.	CONT.	3' O.C.		YES	
	CAMELLIA JAPONICA 'COLONIAL FIREY'	COLONIAL FIREY CAMELLIA	5 GAL.	CONT.	PER PLAN			
	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET VIRGINIA SWEET SPIRE	5 GAL.	CONT.	4' O.C.		YES	
	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	2 GAL.	CONT.	PER PLAN			
	CALLUNA VULGARIS 'FIREFLY'	FIREFLY HEATHER	1 GAL.	CONT.	PER PLAN		YES	
	PIERIS 'CAVATINE'	CAVATINE DWARF JAPANESE PIERIS	2 GAL.	CONT.	2'-6" O.C.		YES	
GRASSES, GROUNDCOVERS & VINES								
	CALAMAGROSTIS X ACUTIFLORA 'OVERDAM'	OVERDAM FEATHER REED GRASS	2 GAL.	CONT.	18" O.C.		YES	
	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE ORIENTAL FOUNTAIN GRASS	2 GAL.	CONT.	30" O.C.		YES	
	STIPA BRACHYTRICHA	KOREAN FEATHER REED GRASS	2 GAL.	CONT.	4' O.C.		YES	
	CLEMATIS 'MADAME JULIA CORREVON'	MADAME JULIA CORREVON VITICELLA CLEMATIS	2 GAL.	CONT.	PER PLAN		YES	
	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	1 GAL.	CONT.	2' O.C. TYP.		YES	
	LONICERA SEMPERVIRENS	TRUMPET CORAL HONEYSUCKLE	2 GAL.	CONT.	PER PLAN		YES	
NATIVE BUFFER MITIGATION								
	ACER CIRCINATUM	VINE MAPLE	6' HT.	B&B	PER PLAN	YES	YES	
	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	NOOTKA FALSE CYPRESS	6' HT.	B&B	PER PLAN	YES	YES	
	MAHONIA REPENS	CREeping OREGON GRAPE-HOLLY	1 GAL.	CONT.	2' O.C.	YES	YES	
	CORNUS SERICEA 'KELSEYI'	KELSEY DOGWOOD	1 GAL.	CONT.	PER PLAN	YES	YES	
	VACCINIUM VITIS-IDAEA	FOX BERRY	1 GAL.	CONT.	24" O.C.	YES	YES	

LEGEND:

- 1 EXISTING CHAIN LINK FENCE TO REMAIN ON WEST PROPERTY LINE.
- 2 6' TO 8' HIGH EVERGREEN ARBORVITAE HEDGE AND COLUMNAR PARKING LOT TREES TO PROVIDE A VISUALLY BUFFER FOR ADJACENT PROPERTY.
- 3 EXISTING STREAM BANK TO BE CLEARED OF INVASIVE SPECIES TO THE LIMITS SHOWN AND RE-PLANTED WITH WOODY PERENNIAL NATIVE RIPARIAN TREE AND SHRUB SPECIES IN A NATURALISTIC PATTERN AND DENSITY.
- 4 2" CALIPER STREET TREES TO BE INSTALLED AT 30' O.C. LOWEST SCAFFOLDING BRANCHES TO BE MIN. 7' ABOVE GRADE FOR SIGHT DISTANCE VISIBILITY.
- 5 LOW WATER USE LANDSCAPE PALETTE IN PARKWAY STRIP WITH MAX 30" HT. FOR SIGHT DISTANCE VISIBILITY.
- 6 GROUND LEVEL COMMUNITY COMMON SPACE ADJACENT TO PUBLIC PATH WITH PASSIVE LAWN AREA, ENHANCED NATIVE LANDSCAPE PLANTING, BENCH SEATING AND VINE COVERED VERTICAL GREEN SCREENS AT GARAGE OPENINGS.
- 7 PRIVATE PATIOS WITH ENHANCED PAVING AND ORNAMENTAL LANDSCAPE BUFFER FOR PRIVACY ALONG PUBLIC PATH.
- 8 SIGNIFICANT LAYERED LANDSCAPE BUFFER TO SCREEN PARKING STALLS.
- 9 UTILITY CABINET WITH PERIMETER SCREEN FENCE AND GATE.
- 10 FUTURE COMMUNITY PATH CONNECTION.
- 11 VINE COVERED VERTICAL GREEN SCREEN AT BLANK WALLS.
- 12 SITE TREE PLANTING QUANTITIES SHALL EITHER MEET THE REQUIRED TREE REPLACEMENT AMOUNTS OR TREES SHALL BE PLANTED OFF SITE OR FUNDS CONTRIBUTED TO THE CITY TREE FUND IN AN AMOUNT THAT SATISFY THE REQUIREMENT.

OVERALL LANDSCAPE PLAN

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PROJECT:
ISSAQUAH APARTMENTS
 955 7th Avenue NW
 Issaquah, WA 98027

CLIENT:
PNW HOLDINGS, LLC

PROJECT ISSUES:
 SITE DEVELOPMENT PERMIT 4/14/2016

SHEET DATE:
 REVISIONS

DRAWN: LP / RS
 CHECKED: RS
 PROJECT No. LA1547

SHEET TITLE:
OVERALL LANDSCAPE PLAN

ISSUE:

L1.0



ROOF DECK AMENITIES - NOT SHOWN ON PLAN



COLUMNAR HORNBEAN STREET TREES 30' OC.



ORNAMENTAL GRASSES AND FLOWERING SHRUBS AT PRIVATE PATIOS



EDDIE'S WHITE WONDER DOGWOOD ACCENT AT DRIVE ENTRIES AND COURTYARD.



EVERGREEN FLOWERING ENGLISH LAUREL ALONG PARKWAY STRIP.



EVERGREEN ARBORVITAE AND KATSURA TREE FOR WEST AND SOUTH SIDE SCREENING



HOLLYWOOD JUNIPER AT COURTYARD



FLOWERING HEATHER ACCENT AT STREET FRONTAGE.



NATIVE STREAM BUFFER MITIGATION



EVERGREEN TRUMPET VINE COVERED TRELLIS AT BLANK WALLS

