

# BECHER BAY DIVISION G PHASE 2

IN THE S.W. 1/4 N.W. 1/4, SEC. 20, T.24N., R.6E., W.M.,  
CITY OF ISSAQUAH, KING COUNTY, WASHINGTON

VOLUME PAGE

245-092

## DEDICATION

KNOW ALL PEOPLE BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF INTEREST IN THE LAND HEREBY SUBDIVIDED, HEREBY DECLARE THIS PLAT TO BE THE GRAPHIC REPRESENTATION OF THE SUBDIVISION MADE, HEREBY AND DEDICATE TO THE PUBLIC FOREVER, ALL STREETS AND AVENUES NOT SHOWN AS PRIVATE. WE DEDICATE THE USE FOR ALL PUBLIC PURPOSES NOT INCONSISTENT WITH PUBLIC HIGHWAY PURPOSES AND ALSO THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS UPON THE LOTS SHOWN IN THE REASONABLE GRADING OF SAID STREETS AND AVENUES. WE FURTHER DEDICATE TO THE USE OF THE PUBLIC AS INDICATED, INCLUDING BUT NOT LIMITED TO PARKS, OPEN SPACE, UTILITIES, AND DRAINAGE. UNLESS SUCH EASEMENTS OR TRACTS ARE SPECIFICALLY IDENTIFIED ON THIS PLAT AS BEING DEDICATED OR CONVEYED TO A PERSON OR ENTITY OTHER THAN THE PUBLIC, IN WHICH CASE WE DEDICATE SUCH STREETS, EASEMENTS, OR TRACTS TO THE PERSON OR ENTITY IDENTIFIED AND FOR THE PURPOSE STATED.

FURTHER, WE WAIVE FOR OURSELVES, OUR HEIRS AND ASSIGNS, AND ANY PERSON OR ENTITY DERIVING TITLE FROM THE UNDERSIGNED ANY AND ALL CLAIMS FOR DAMAGES AGAINST THE CITY OF ISSAQUAH AND ITS SUCCESSORS AND ASSIGNS WHICH MAY BE OCCASIONED TO THE ADJACENT LANDS OF THIS SHORT SUBDIVISION BY THE ESTABLISHMENT, CONSTRUCTION, OR MAINTENANCE OF ROADS AND/OR DRAINAGE SYSTEMS WITHIN THIS SUBDIVISION.

THIS SUBDIVISION, DEDICATION, AND WAIVER OF CLAIMS IS MADE WITH FREE CONSENT AND IN ACCORDANCE WITH OUR DESIRES.

RIPSAW RIDGE LLC  
BY: CLAYBURN CAPITAL INC., ITS MANAGING MEMBER

WES GIESBRECHT, PRESIDENT

KITSAW BANK, INC.

BY: [Signature] BY: \_\_\_\_\_  
ITS: SENIOR VICE PRESIDENTS

## ACKNOWLEDGMENTS

STATE OF WASHINGTON

COUNTY OF KING

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT:

WES GIESBRECHT

SIGNED THIS DEDICATION AND ON OATH STATED THAT (HE/SHE) WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE PRESIDENT OF CLAYBURN CAPITAL INC.

TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

DATED DECEMBER 13, 2007

SIGNATURE OF [Signature]  
NOTARY PUBLIC  
PRINTED NAME AMBER LEE HOFFMANN  
NOTARY PUBLIC  
TITLE NOTARY PUBLIC

RESIDING AT MERCER ISLAND  
MY APPOINTMENT EXPIRES 3-27-2011

STATE OF Washington

COUNTY OF King

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT:

Douglas Withers

SIGNED THIS DEDICATION AND ON OATH STATED THAT (HE/SHE) WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE SR. VICE PRESIDENT OF NORTSTAR BANK, KITSAW BANK

TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

DATED DECEMBER 13, 2007

SIGNATURE OF [Signature]  
NOTARY PUBLIC  
PRINTED NAME AMBER LEE HOFFMANN  
NOTARY PUBLIC  
TITLE NOTARY PUBLIC  
RESIDING AT MERCER ISLAND  
MY APPOINTMENT EXPIRES 3-27-2011

## UTILITY EASEMENT PROVISIONS

AN EASEMENT IS HEREBY GRANTED AND RESERVED FOR THE CITY OF ISSAQUAH, PUGET SOUND ENERGY COMPANY, QWEST TELEPHONE COMPANY, THE REGIONAL CABLE TELEVISION COMPANY AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS UNDER AND UPON THE EXTERIOR TEN FEET PARALLEL WITH AND ADJACENT TO THE ROAD FRONTAGE OF ALL LOTS. THE PURPOSE OF THE EASEMENT IS TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN UNDERGROUND CONDUITS, CABLES AND WIRES WITH NECESSARY FACILITIES AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRICITY, NATURAL GAS, TELEPHONE, SEWER AND WATER SERVICE, DRAINAGE, AND CABLE TELEVISION. THE EASEMENT SHALL INCLUDE THE RIGHT TO ENTER UPON THE LOTS AT ALL TIMES FOR THE PURPOSES HEREIN STATED. AFTER ENTRY PURSUANT TO THESE EASEMENTS, THE PROPERTY SHALL BE RESTORED AS NEAR AS POSSIBLE TO ITS ORIGINAL CONDITION. NO LINES OR WIRES FOR THE TRANSMISSION OF ELECTRIC CURRENT OR FOR TELEPHONE USE OR CABLE TELEVISION SHALL BE PLACED OR PERMITTED TO BE PLACED UPON ANY LOT UNLESS THE SAME SHALL BE UNDERGROUND OR IN CONDUIT ATTACHED TO A BUILDING.

## RESTRICTIONS

NO LOT OR PORTION OF A LOT IN THIS PLAT SHALL BE DIVIDED AND SOLD OR RESULT OR OWNERSHIP CHANGED OR TRANSFERRED WHEREBY THE OWNERSHIP OF ANY PORTION OF THIS PLAT SHALL BE LESS THAN THE AREA REQUIRED FOR THE USE DISTRICT IN WHICH LOCATED.

LOTS 1 - 30 ARE RESTRICTED TO ONE SINGLE FAMILY RESIDENCE PER LOT AS REQUIRED BY THE CERTIFICATE OF TRANSPORTATION CONCURRENCY ISSUED ON APRIL 12, 2005. ANY FUTURE DEVELOPMENT ON THESE LOTS THAT WOULD EXCEED THE NUMBER OF PM PEAK HOUR TRIPS APPROVED UNDER THE CERTIFICATE OF TRANSPORTATION CONCURRENCY WILL NEED TO BE REVIEWED FOR CONCURRENCY UNDER THE REGULATIONS THAT ARE IN PLACE AT THAT TIME.

THE APPLICANT RECOGNIZES THAT DUE TO THE GRADING THAT OCCURRED ON THIS SITE, MOST OF THE TREES WERE REMOVED. IN ORDER TO REPLACE THE TREES THAT WERE REMOVED, TWO NATIVE SPECIES TREES SHALL BE PLANTED ON EACH HOUSING LOT PRIOR TO FINAL BUILDING INSPECTION OF THE SINGLE-FAMILY HOMES.

A DOUBLE ROW OF MIXED NATIVE SPECIES TREES, AT LEAST 50 PERCENT OF WHICH ARE EVERGREEN TREES, SHALL BE PLANTED BETWEEN THE PROPOSED LOTS ALONG PINE VIEW DRIVE AND THE FUTURE DOWN SLOPE BUILDING AREA TO THE EAST. THESE TREES SHALL BE PLANTED PRIOR TO THE RECORDING OF THE LAST FINAL PLAT ALONG THE PINE VIEW DRIVE PORTION OF THIS SITE. PRIOR TO PLANTING OF THIS AREA, THE APPLICANT WILL NEED TO SUBMIT A PLANTING PLAN FOR APPROVAL BY CITY STAFF.

A FOUNDATION SOILS REPORT BY A LICENSED WASHINGTON STATE GEOTECHNICAL ENGINEER WILL BE REQUIRED AT THE TIME OF BUILDING PERMIT SUBMITTAL.

## LEGAL DESCRIPTION

LOT F-4 OF THE PLAT OF BECHER BAY DIVISION F AS RECORDED IN VOLUME 232 OF PLATS ON PAGES 81-82 RECORDS OF KING COUNTY, WASHINGTON, UNDER KING COUNTY RECORDING NUMBER 20060123002559 BEING A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M., IN KING COUNTY, WASHINGTON.

SUBJECT TO AN EASEMENT FOR SEWER AND WATER PURPOSES AS FILED UNDER RECORDING NUMBER 9212231363.

SUBJECT TO AN EASEMENT FOR GAS, WATER AND SEWER MAINS AS FILED UNDER RECORDING NUMBER 9402081873.

SUBJECT TO BELINQUISHMENT OF ACCESS TO STATE HIGHWAY AND OF LIGHT, VIEW AND AIR AS FILED UNDER RECORDING NUMBER 6302370 AND 6310171.

SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AS FILED UNDER RECORDING NUMBERS 2718847, 6310173, 6302371, 8408270480, 20030402900001, 20040726900012, 20040726900013, 20050714000542, 20041220000474, 20050929002245, 20060209000962, 20080321000738, AND 20050909003283.

SUBJECT TO AN ELECTRIC EASEMENT AS FILED UNDER RECORDING NUMBER 20040917000413.

SUBJECT TO AN EASEMENT FOR SEWER LINE PER RECORDING NO. 20041220000473.

## APPROVALS

### CITY OF ISSAQUAH DEPARTMENT OF PLANNING

EXAMINED AND APPROVED THIS 27<sup>TH</sup> DAY OF DECEMBER, 2007

[Signature]  
PLANNING DIRECTOR

### CITY OF ISSAQUAH DEPARTMENT OF PUBLIC WORKS

EXAMINED AND APPROVED THIS 27<sup>TH</sup> DAY OF December, 2007

[Signature]  
PUBLIC WORKS ENGINEERING DIRECTOR

### CITY OF ISSAQUAH DEPARTMENT OF FINANCE

I HEREBY CERTIFY THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS AND ALL SPECIAL ASSESSMENTS ON THE PROPERTY HEREIN CONTAINED, DEDICATED STREETS, OR FOR OTHER PUBLIC USE, ARE PAID IN FULL. THIS 27<sup>TH</sup> DAY OF December, 2007.

[Signature]  
FINANCE DIRECTOR

### CITY OF ISSAQUAH MAYOR

EXAMINED AND APPROVED THIS 28<sup>TH</sup> DAY OF December, 2007

[Signature] ATTEST: [Signature]  
MAYOR CITY CLERK

### KING COUNTY DEPARTMENT OF ASSESSMENTS

EXAMINED AND APPROVED THIS 7<sup>TH</sup> DAY OF JANUARY, 2008

[Signature] [Signature]  
KING COUNTY ASSESSOR DEPUTY KING COUNTY ASSESSOR

ACCOUNT NUMBER 062987-0040-09

### KING COUNTY FINANCE DIVISION CERTIFICATE

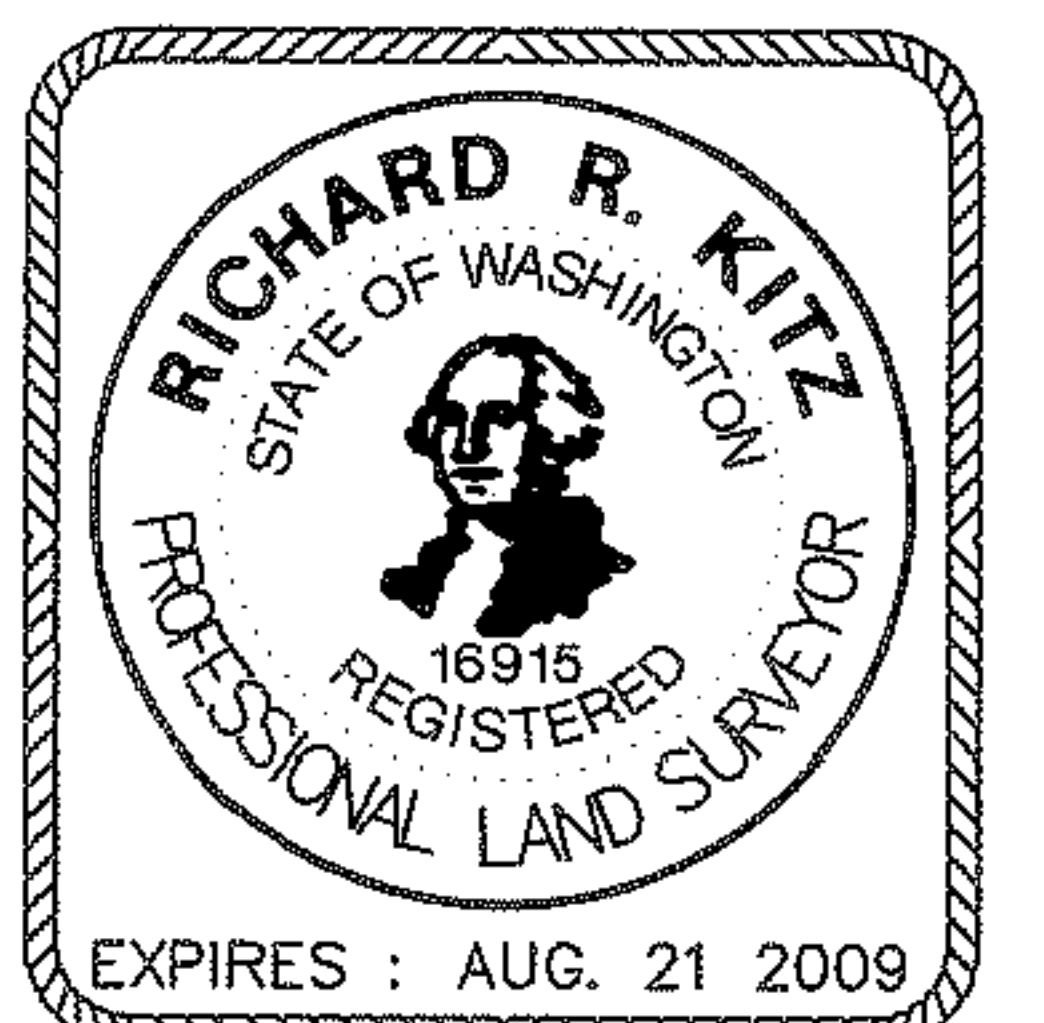
I HEREBY CERTIFY THAT ALL PROPERTY TAXES ARE PAID, THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION AND THAT ALL SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION ON ANY OF THE PROPERTY HEREIN CONTAINED, DEDICATED AS STREETS, ALLEYS OR FOR OTHER PUBLIC USE, ARE PAID IN FULL. THIS 9<sup>TH</sup> DAY OF Jan, 2008

[Signature] [Signature]  
MANAGER, FINANCE DIVISION DEPUTY

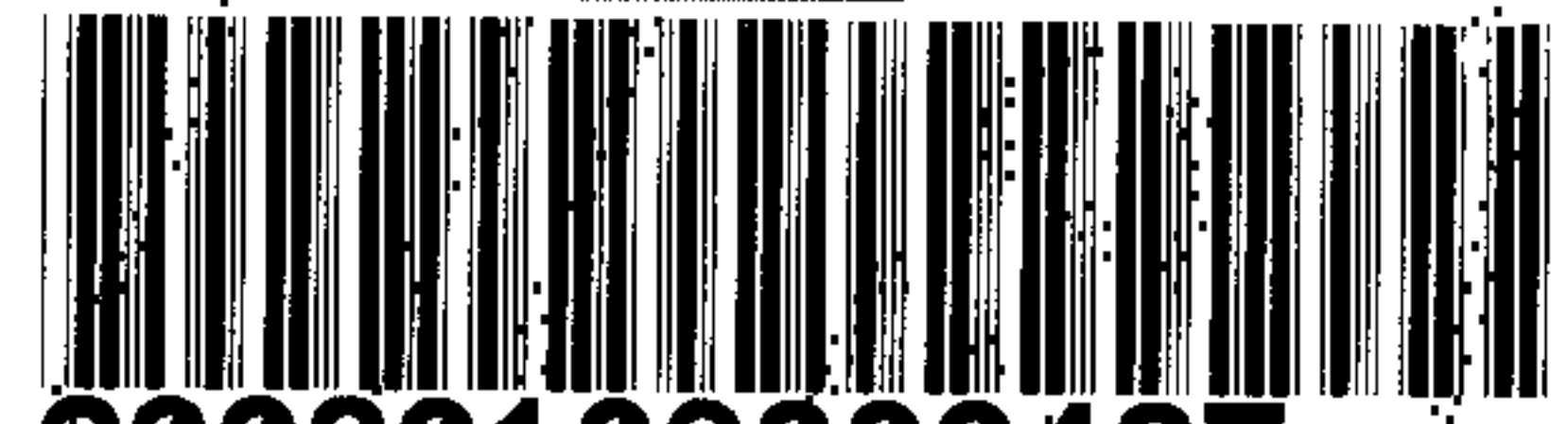
## SURVEYOR'S CERTIFICATE

I, RICHARD R. KITZ, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF WASHINGTON; THAT THIS PLAT OF BECHER BAY DIVISION G PHASE 1 IS A TRUE AND CORRECT REPRESENTATION OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION; THAT ALL CENTERLINE MONUMENTS WILL BE ACCURATELY SET AND ALL LOT AND TRACT CORNERS WILL BE STAKED CORRECTLY ON THE GROUND AS THE PUBLIC IMPROVEMENTS ARE COMPLETED; AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF ALL PLATTING REGULATIONS.

[Signature] DATE 12/11/07  
RICHARD R. KITZ  
P.L.S. #16913



## RECORDING CERTIFICATE



20080109000487

PACIFIC NW 1ST PLAT 108.00  
PAGE 01 OF 003  
01/09/2008 11:44  
KING COUNTY, WA

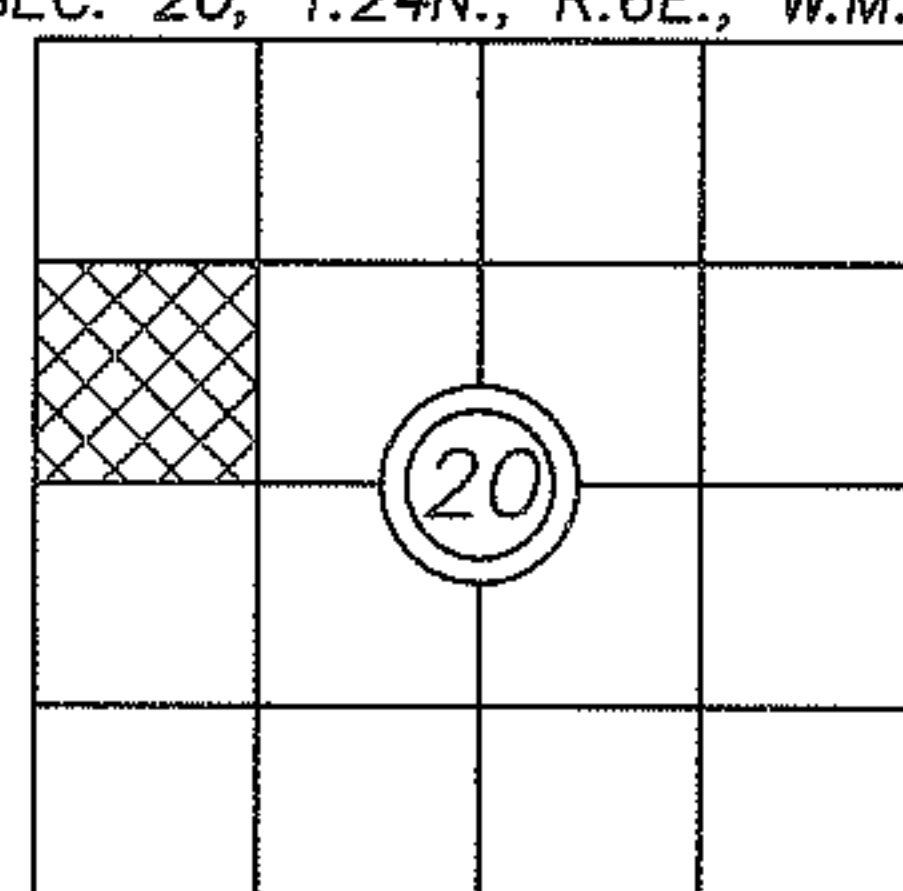
IN THIS 245 THRU 092-094

[Signature]  
CLERK OF RECORDS

415 RAINIER BLVD. NORTH  
ISSAQUAH, WASHINGTON 98027

PHONE: (425)392-5351  
FAX: (425)392-4676

INDEX LOCATION  
SEC. 20, T.24N., R.6E., W.M.



EASTSIDE CONSULTANTS, INC.  
ENGINEERS-SURVEYORS

DWN BY	DATE	JOB NO.
R.S.F.	9/07	06014
CHKD BY	SCALE	SHEET
R. KITZ	N/A	1 OF 3



20080109000487

PACIFIC NUTT PLAT 108.00  
PAGE 02 OF 093  
01/09/2009 11:44  
KING COUNTY, WA

# BECHER BAY DIVISION G PHASE 2

IN THE S.W. 1/4 N.W. 1/4, SEC. 20, T.24N., R.6E., W.M.,  
CITY OF ISSAQUAH, KING COUNTY, WASHINGTON

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245-093

### GENERAL NOTES:

1) THE EASEMENT PER RECORDING 7703180570 WAS DEEDED FROM THE STATE OF WASHINGTON HIGHWAY COMMISSION IN MARCH OF 1977 TO KING COUNTY. THIS EASEMENT WAS PRIMARILY SET UP AS AN EASEMENT FOR HIGHWAY SLOPES PER RECORDING NO'S. 6310173 AND 6302371. THE CITY OF ISSAQUAH HAS SINCE INCORPORATED THIS LAND WITHIN THE CITY LIMITS. THIS PROJECT HAS MADE OFFSITE ROADWAY IMPROVEMENTS TO BOTH SOUTHEAST 54TH STREET AND SOUTHEAST NEWPORT WAY THEREFORE THIS EASEMENT WILL SERVE NO FUTURE PURPOSE. BY THE CITY OF ISSAQUAH AND THE OWNER OF THIS LAND SIGNING THIS PLAT, BOTH PARTIES AGREE THAT THIS EASEMENT WILL BECOME NULL AND VOID.

2) A 15 FOOT PRIVATE SEWER EASEMENT IS HEREBY CREATED ALONG THE EAST 15 FEET OF LOTS 9, 10, AND 11 FOR THE BENEFIT OF LOTS 8, 9, AND 10. IT SHALL BE THE RESPONSIBILITY OF LOTS 8, 9, AND 10 FOR THE MAINTENANCE AND UPKEEP OF THE FACILITIES CONTAINED WITHIN.

3) THE 10 FOOT UTILITY EASEMENT FOR WATER AND SEWER PURPOSES SHALL BENEFIT THE CITY OF ISSAQUAH. THIS EASEMENT SHALL ATTACH TO THE SOUTH LINE OF A SEWER EASEMENT CREATED PER RECORDING NUMBER 20041220000473 AND THE COMMON LINE BETWEEN LOTS 6 AND 7 OF THIS PLAT.

4) TRACT A SHALL BE A JOINT USE DRIVEWAY TRACT TO BENEFIT LOTS 21 AND 22 FOR INGRESS, EGRESS, AND UTILITIES. LOTS 21 AND 22 SHALL EQUALLY OWN TRACT A OVER THAT PORTION IN WHICH THE SEWER STUB TO SAID LOT EXISTS. IT SHALL BE THE RESPONSIBILITY OF LOTS 21-23 TO MAINTAIN THE FACILITIES CONTAINED WITHIN WHICH WILL BENEFIT THEIR LOT. TRACT A SHALL BE OWNED EQUALLY BY LOTS 21-23. AN EASEMENT IS HEREBY GRANTED TO THE CITY OF ISSAQUAH (OVER TRACT A) TO MAINTAIN THE SEWER LINE CONTAINED WITHIN SAID TRACT A.

5) TRACT B SHALL BE A JOINT USE DRIVEWAY TRACT TO BENEFIT LOTS 16 AND 17 FOR INGRESS, EGRESS, AND UTILITIES. LOTS 16 AND 17 SHALL EQUALLY OWN TRACT B AND BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE FACILITIES CONTAINED WITHIN. AN EASEMENT IS HEREBY GRANTED TO THE CITY OF ISSAQUAH TO ACCESS AND MAINTAIN THE PUBLIC UTILITIES CONTAINED WITHIN SAID TRACT B.

6) TRACT C SHALL BE A JOINT USE DRIVEWAY TRACT TO BENEFIT LOTS 9, 10, AND 11 FOR INGRESS, EGRESS, AND UTILITIES. LOTS 9-11 SHALL SHARE EQUALLY IN THE OWNERSHIP OF TRACT C AND BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE FACILITIES CONTAINED WITHIN. AN EASEMENT IS HEREBY GRANTED TO THE CITY OF ISSAQUAH TO ACCESS AND MAINTAIN THE PUBLIC UTILITIES CONTAINED WITHIN SAID TRACT C. AN EASEMENT IS HEREBY GRANTED TO THE PUBLIC FOR INGRESS AND EGRESS ACROSS SAID TRACT.

7) THE 30 FOOT EASEMENT FOR INGRESS, EGRESS, AND UTILITIES SHALL BENEFIT THE CITY OF ISSAQUAH TO ACCESS AND MAINTAIN THE PUBLIC UTILITIES CONTAINED WITHIN. AN EASEMENT IS HEREBY GRANTED TO THE PUBLIC FOR INGRESS AND EGRESS ACROSS SAID 30 FOOT EASEMENT.

8) A UTILITY EASEMENT IS HEREBY GRANTED TO THE CITY OF ISSAQUAH TO ACCESS AND MAINTAIN THE PUBLIC UTILITIES CONTAINED WITHIN SAID EASEMENT, WHICH IS DESCRIBED AS BEING SOUTHERLY OF TRACTS A AND B, AND NORTHERLY OF A LINE 91.00 FEET NORTH OF THE SOUTH BOUNDARY OF THIS PLAT AS THE GRAPHICAL PRESENTATION SHOWS.

9) A 25 FOOT UTILITY EASEMENT IS HEREBY GRANTED TO THE CITY OF ISSAQUAH TO ACCESS AND MAINTAIN THE PUBLIC UTILITIES CONTAINED WITHIN. A PRIVATE EASEMENT IS HEREBY GRANTED TO LOT 15 FOR A STORM DRAINAGE STUB TO THE PUBLIC MANHOLE.

10) TRACT D IS HEREBY CONVEYED TO THE CITY OF ISSAQUAH AS A STORM DRAINAGE, PUBLIC ACCESS AND UTILITY TRACT UPON RECORDING OF THIS PLAT.

11) THE TEMPORARY DRAINAGE EASEMENT CREATED ON CITY OF ISSAQUAH SHORT PLAT PLN03-00041 PER RECORDING NUMBER 2004072600013 WAS USED FOR THE CONSTRUCTION OF A TEMPORARY STORM DRAINAGE CONVEYANCE SYSTEM AND DETENTION POND. THE TEMPORARY SYSTEM HAS BEEN REMOVED THEREFORE THERE IS NO FUTURE NEED FOR THIS EASEMENT TO REMAIN. UPON RECORDING OF THIS PLAT THE TEMPORARY EASEMENT WILL BECOME NULL AND VOID.

12) THE 10 FOOT LANDSCAPE, GRADING AND DRAINAGE EASEMENT SHALL BE ALONG THE SOUTH 10 FEET OF THE LOTS 16-22. IT SHALL BE THE RESPONSIBILITY OF THE EXISTING LOTS WHICH ABUT THE EASEMENT TO MAINTAIN THE FACILITIES AND LANDSCAPING WHICH ARE CONTAINED WITHIN.

13) THE 10, 15 AND 20 FOOT LANDSCAPE, GRADING AND DRAINAGE EASEMENT SHALL BE ALONG THE WEST 15 FEET OF LOT 15, THE WEST 20 FEET OF THE LOTS 23-27, AND WEST 10 FEET OF LOT 30. IT SHALL BE THE RESPONSIBILITY OF THE EXISTING LOTS WHICH ABUT THE EASEMENT TO MAINTAIN THE FACILITIES AND LANDSCAPING WHICH ARE CONTAINED WITHIN.

14) A 15 AND 18 FOOT UTILITY EASEMENT IS HEREBY GRANTED TO THE CITY OF ISSAQUAH TO ACCESS AND MAINTAIN THE PUBLIC UTILITIES CONTAINED WITHIN SAID EASEMENT. THE PUBLIC UTILITIES ARE ONLY ON THAT PORTION OF THE SOUTH 37 FEET OF THE EAST 18 FEET OF LOT 15. THE REMAINING EASEMENT IS A PRIVATE UTILITY EASEMENT TO BENEFIT LOTS 12-15. IT SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 12-15 FOR THE MAINTENANCE AND UPKEEP OF THE FACILITIES CONTAINED WITHIN.

### CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
C1	3°01'39"	659.99'	34.87'
C2	12°03'02"	659.99'	138.81'
C3	5°46'51"	659.99'	66.59'
C4	2°44'28"	659.99'	31.57'
C5	2°09'56"	228.32'	8.63'
C6	2°54'24"	228.32'	51.43'
C7	41°34'48"	77.50'	15.66'
C8	11°34'48"	122.50'	24.76'
C9	13°26'34"	75.00'	17.60'
C10	14°48'57"	75.00'	19.39'
C11	35°26'37"	50.00'	30.93'
C12	16°43'38"	50.00'	14.60'
C13	31°16'56"	55.00'	30.03'
C14	36°35'31"	55.00'	35.13'
C15	45°28'29"	55.00'	43.85'
C16	20°57'05"	55.00'	20.11'
C17	32°00'11"	55.00'	30.72'
C18	43°48'54"	55.00'	42.06'
C19	99°48'47"	25.00'	43.53'
C20	10°44'16"	220.00'	41.23'
C21	8°06'35"	220.00'	31.14'
C22	7°59'13"	25.00'	3.48'
C23	7°12'22"	25.00'	31.07'
C24	59°22'18"	55.00'	56.99'
C25	40°00'34"	55.00'	38.41'
C26	26°19'27"	55.00'	25.27'
C27	22°24'20"	55.00'	31.51'
C28	48°19'17"	55.00'	46.39'
C29	29°03'54"	55.00'	27.90'
C30	21°19'25"	55.00'	20.47'
C31	12°22'20"	55.00'	11.88'
C32	4°11'13"	265.00'	19.36'
C33	8°51'27"	265.00'	40.97'
C34	8°48'45"	265.00'	40.76'
C35	3°03'47"	265.00'	14.17'
C36	92°30'52"	25.00'	40.37'
C37	11°34'48"	77.50'	15.66'
C38	11°34'48"	122.50'	24.76'
C39	11°34'48"	100.00'	20.21'
C40	11°34'48"	100.00'	20.21'
C41	24°55'11"	242.50'	105.47'

### LINE TABLE

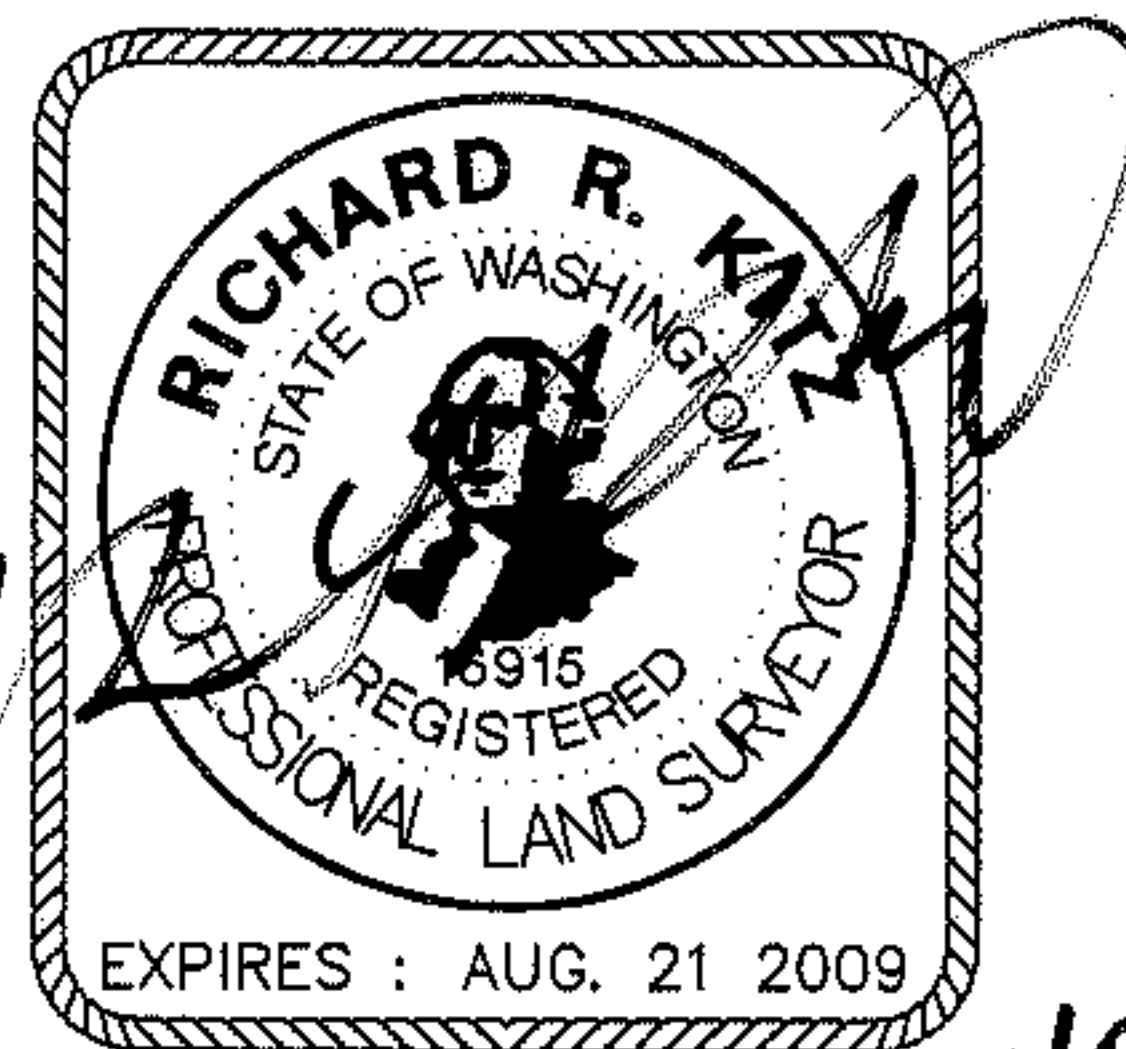
LINE	BEARING	DISTANCE
L1	S75°30'54"E	25.93'
L2	S75°30'54"E	17.19'
L3	S72°47'36"E	7.85'
L4	N17°12'24"E	7.50'
L5	S72°47'36"E	19.08'
L6	S72°47'36"E	23.34'
L7	S87°12'44"E	31.29'
L8	S87°12'44"E	76.72'
L9	S79°16'51"E	13.42'
L10	S16°57'03"E	21.46'
L11	S05°11'56"E	23.22'
L12	S05°11'56"E	27.87'
L13	N61°57'49"E	30.00'
L14	S28°02'11"E	56.81'
L15	N61°57'49"E	30.00'
L16	S28°02'11"E	27.78'
L17	S00°18'02"E	27.41'
L18	S58°18'33"E	27.36'
L19	N89°41'58"E	82.83'
L20	N89°41'58"E	37.83'
L21	N89°41'58"E	45.00'
L22	S58°18'33"E	32.98'
L23	N89°41'58"E	45.00'
L24	N00°18'02"W	25.00'
L25	S17°34'16"E	20.00'
L26	N72°25'44"E	71.13'
L27	N72°25'44"E	47.12'
L28	N72°25'44"E	24.00'
L29	N89°41'58"E	10.00'
L30	N05°11'56"W	16.51'
L31	N84°48'04"E	32.50'

### LOT AREAS

LOT NO.	AREA (SQ. FT.)
1.	6196
2.	6229
3.	6351
4.	6939
5.	6963
6.	8604
7.	5680
8.	6402
9.	5934
10.	5357
11.	6323
12.	5132
13.	6326
14.	5816
15.	5161
16.	5220
17.	4095
18.	4512
19.	4122
20.	4684
21.	4346
22.	6340
23.	6391
24.	5068
25.	5180
26.	5475
27.	5230
28.	3938
29.	4026
30.	4660
TRACT A	1372
TRACT B	1766
TRACT C	4517
TRACT D	17010
10' STRIP	6064

### SURVEY NOTES:

- BASIS OF BEARING IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, N.A.D. 83/91 (NORTH ZONE) PER TIES TO KING COUNTY GPS MONUMENT KC-D-18 AND W.S.D.O.T. CONTROL MONUMENT GP17090-57. THE COMBINED PROJECT SCALE FACTOR IS 0.9999888.
- FIELD WORK WAS DONE IN SEPTEMBER 2002 THROUGH OCTOBER 2007. USING TRIMBLE 4400 SERIES GPS RECEIVERS (RTK METHOD) AND PENTAX PTS-V3 THREE-SECOND TOTAL STATION WITH RESULTING CLOSURES EXCEEDING THE MINIMUM ACCURACY STANDARDS AS ESTABLISHED BY W.A.C. 332-130.
- THE FOLLOWING SURVEYS WERE USED AS REFERENCE TO AID IN ESTABLISHING THE BOUNDARY OF THIS SURVEY:
  - CITY OF ISSAQUAH LOT LINE ADJUSTMENT 84-01.
  - PLAT OF TERRA HIGHLANDS DIVISION 2.
  - KING COUNTY'S ASSESSOR'S MAP.
  - D.O.T. PLANS FOR PSH NO. 2 (SR90).
  - CITY OF ISSAQUAH BLA NO. PLN03-00015.
  - CITY OF ISSAQUAH SP NO. PLN03-00039.
  - CITY OF ISSAQUAH PLAT NO. PLN04-0084.
  - PLAT OF BECHER BAY DIV. F.
  - PLAT BECHER BAY DIV. G PHASE 1.
- THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
- PROPERTY CORNERS AND ROAD MONUMENTS WILL BE SET AT A LATER DATE.



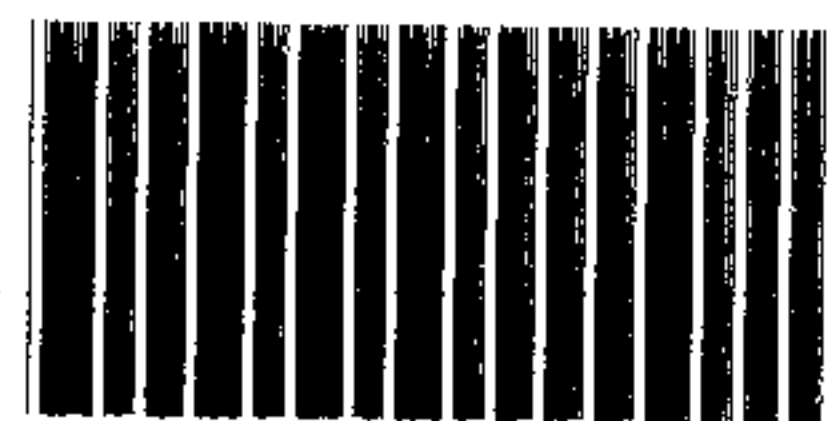
415 RAINIER BLVD. NORTH  
ISSAQUAH, WASHINGTON 98027  
PHONE: (425)392-5351  
FAX: (425)392-4676

**EASTSIDE CONSULTANTS, INC.**  
ENGINEERS-SURVEYORS

DWN BY	DATE	JOB NO.
R.S.F./R.K.	9/07	06014
CHKD BY	SCALE	SHEET
R. KITZ	1"=60'	2 OF 3

FILE NO. PLN07-00113

12/11/07



20080109000487

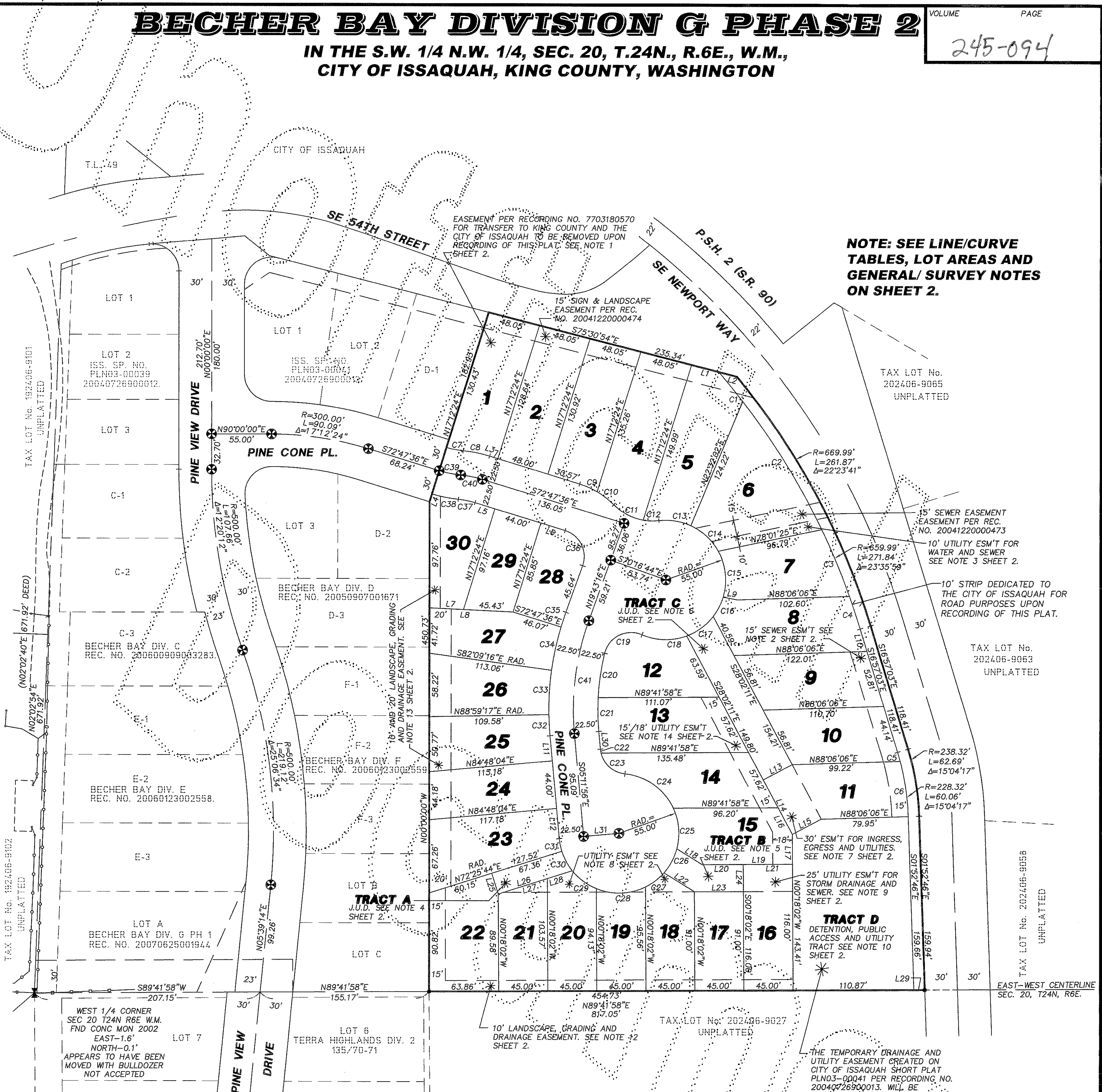
PACIFIC NW TIT PLAT 108.00  
PAGE 003 OF 003  
01/09/2008 11:44  
KING COUNTY, WA

# BECHER BAY DIVISION G PHASE 2

IN THE S.W. 1/4 N.W. 1/4, SEC. 20, T.24N., R.6E., W.M.,  
CITY OF ISSAQUAH, KING COUNTY, WASHINGTON

VOLUME PAGE

245-094



**NOTE: SEE LINE/CURVE TABLES, LOT AREAS AND GENERAL/SURVEY NOTES ON SHEET 2.**

15' SEWER EASEMENT PER REC. NO. 20041220000473  
10' UTILITY ESM'T FOR WATER AND SEWER SEE NOTE 3 SHEET 2.

10' STRIP DEDICATED TO THE CITY OF ISSAQUAH FOR ROAD PURPOSES UPON RECORDING OF THIS PLAT.

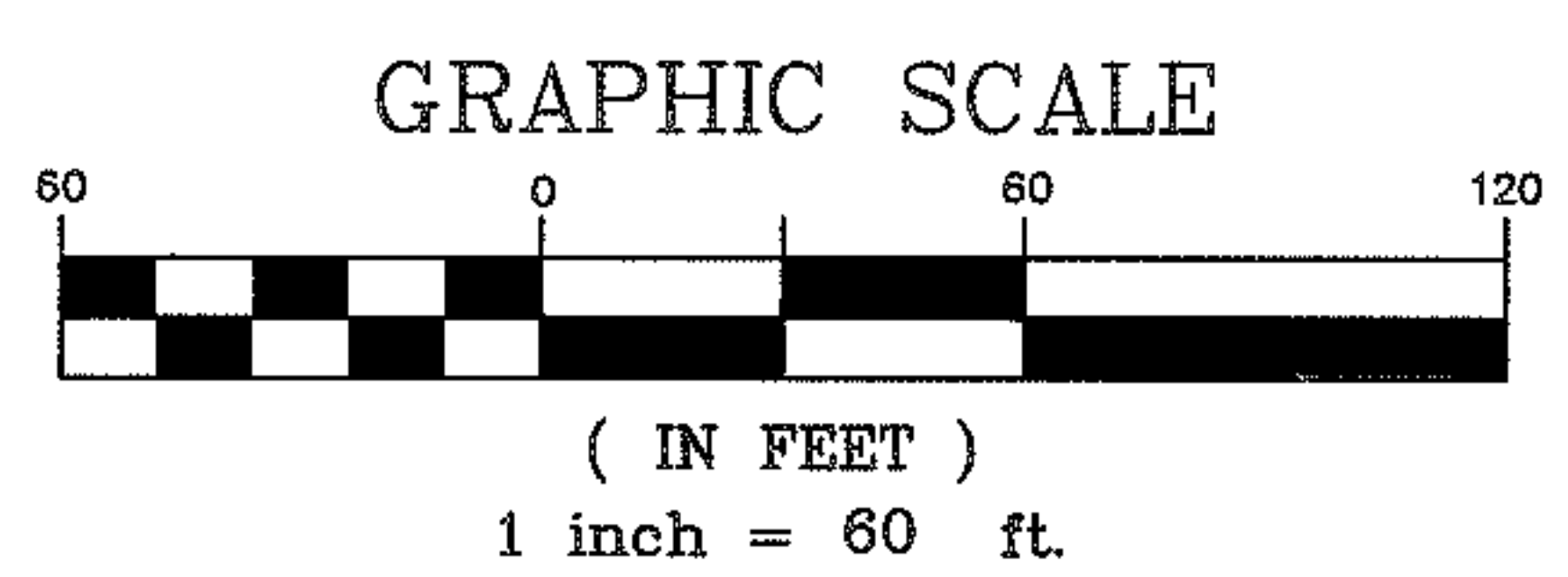
TAX LOT No. 202406-9063 UNPLATTED

R=238.32' L=62.69' Δ=15°04'17"  
R=228.32' L=60.06' Δ=15°04'17"

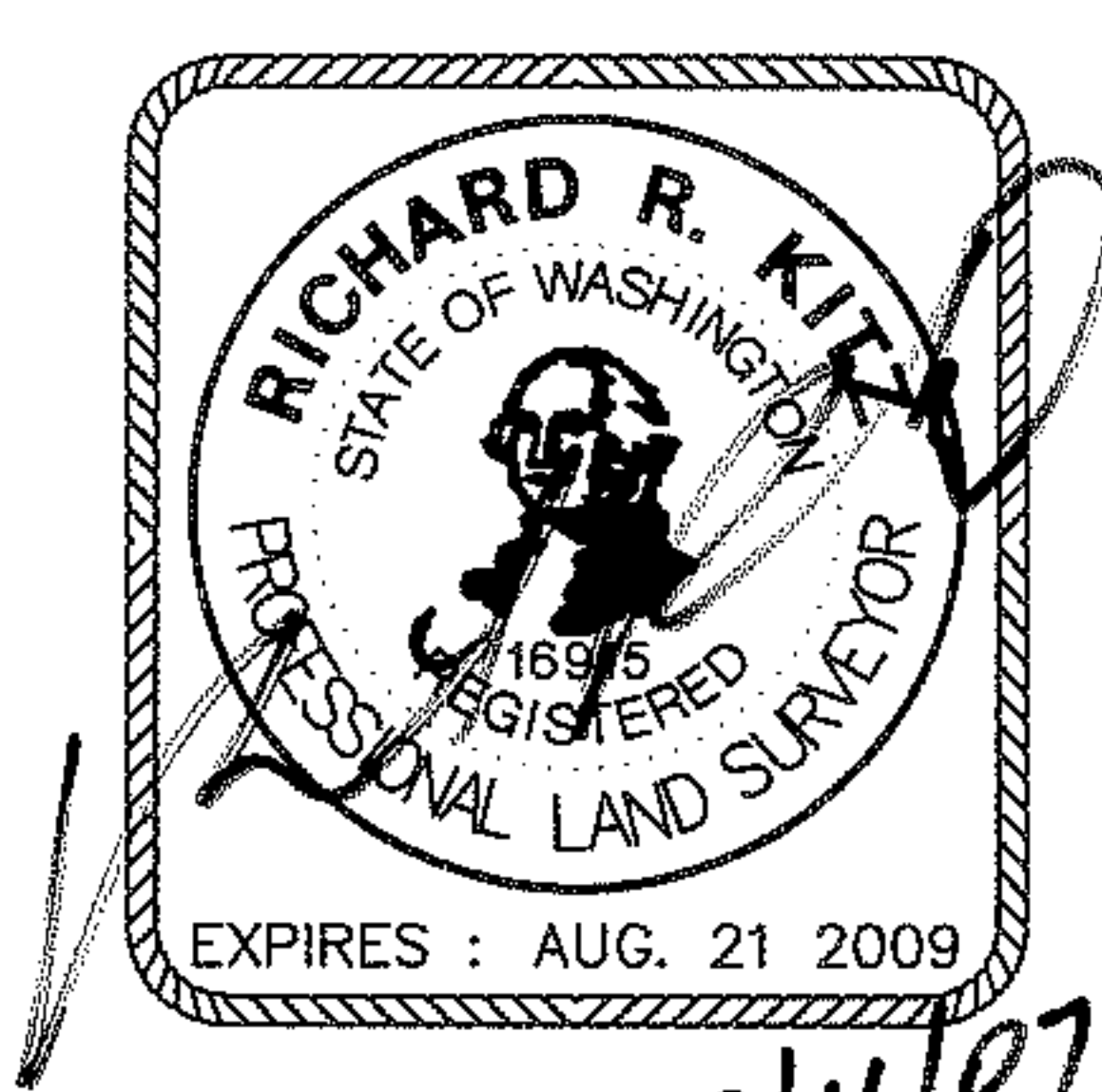
30' ESM'T FOR INGRESS, EGRESS AND UTILITIES. SEE NOTE 7 SHEET 2.

25' UTILITY ESM'T FOR STORM DRAINAGE AND SEWER. SEE NOTE 9 SHEET 2.

THE TEMPORARY DRAINAGE AND UTILITY EASEMENT CREATED ON CITY OF ISSAQUAH SHORT PLAT PLN03-00041 PER RECORDING NO. 20040726900013. WILL BE REMOVED UPON RECORDING OF THIS PLAT. SEE NOTE 11 SHEET 2.



- ✱ A SECTION CORNER
- ✱ A QUARTER CORNER
- ⊕ A FND ROAD MONUMENT
- ⊕ A FND REBAR OR PIPE LS # 9760.
- ⊕ A REBAR WITH LS CAP No.16915 TO BE SET
- ⊕ A STANDARD ROAD MONUMENT IN CASE TO BE SET
- (10.00') A RECORD DIMENSION
- J.U.D. JOINT USE DRIVEWAY



415 RAINIER BLVD. NORTH ISSAQUAH, WASHINGTON 98027 PHONE: (425)392-5351 FAX: (425)392-4576

**EASTSIDE CONSULTANTS, INC.**  
ENGINEERS-SURVEYORS

DWN BY	DATE	JOB. NO.
R.S.F./R.K.	9/07	06014
CHKD BY	SCALE	SHEET
R. KITZ	1"=60'	3 OF 3