

# CLARK'S CREEK BEND TOWNHOMES CONDOMINIUM

CITY OF ISSAQUAH, KING COUNTY, WASHINGTON  
PORTION SE 1/4, SE 1/4, SEC. 28, TWN. 24N, RANGE 6 E, W.M.

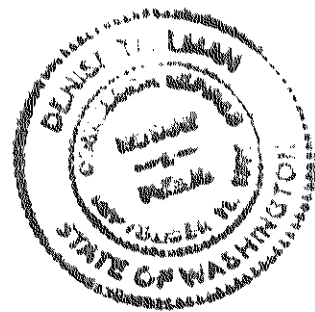
## DECLARATION

WE THE UNDERSIGNED OWNER OR OWNERS OF THE INTEREST IN THE REAL PROPERTY DESCRIBED HEREIN, HEREBY DECLARE THIS SURVEY MAP AND PLANS AND DEDICATE THE SAME FOR A CONDOMINIUM SOLELY TO MEET THE REQUIREMENTS OF THE WASHINGTON CONDOMINIUM ACT, RCW 64.34, ET SEQ. AND NOT FOR ANY PUBLIC PURPOSE. THIS SURVEY MAP AND PLANS AND ANY PORTION THEREOF ARE RESTRICTED BY LAW AND THE DECLARATION FOR CLARK'S CREEK BEND TOWNHOMES CONDOMINIUM RECORDED UNDER KING COUNTY RECORDING NO. 9307012136

FOUNDATION MORTGAGE CORPORATION, INC.

Barry Owen  
By: Barry Owen  
Its: President

## ACKNOWLEDGEMENT



STATE OF WASHINGTON )  
                                  ) SS  
COUNTY OF King )

ON THIS 29 DAY OF June, 1993, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED Barry Owen, TO ME PERSONALLY KNOWN (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PRESIDENT OF FOUNDATION MORTGAGE, INC., THE CORPORATION THAT EXECUTED THE WITHIN AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID CORPORATION FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH STATED THAT he WAS AUTHORIZED TO EXECUTE SAID INSTRUMENT AND THAT THE SEAL AFFIXED, IF ANY, IS THE CORPORATE SEAL OF SAID CORPORATION.

WITNESS MY HAND AND SEAL HERETO AFFIXED THE DAY AND YEAR IN THIS CERTIFICATE ABOVE WRITTEN.

Denise Tallman  
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON,  
RESIDING AT Seattle  
MY COMMISSION EXPIRES: Sept. 19, 1996

## RECORDING CERTIFICATE

9307012135

FILED FOR RECORD AT THE REQUEST OF Foundation Mortgage Corp Inc  
THIS 1st DAY OF July, 1993, AT 6 MINUTES  
PAST 2:00 O'CLOCK P.M., AND RECORDED IN VOLUME 114 OF  
CONDOMINIUMS, PAGES 22 TO 25 INCLUSIVE, RECORDS OF  
KING COUNTY, WASHINGTON.

Jane Hague

Caroleya Ableman

## LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF SAID SECTION 28, DISTANT 662.5 FEET WEST OF THE SOUTHEAST CORNER THEREOF;  
THENCE NORTH 165 FEET;  
THENCE WEST 33 FEET;  
THENCE NORTH 97.5 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO HELGA C. OLSON BY DEED RECORDED UNDER AUDITOR'S FILE NO. 3226070;  
THENCE WEST ALONG THE SOUTH LINE OF SAID OLSON TRACT TO ISSAQUAH CREEK;  
THENCE SOUTHERLY ALONG SAID ISSAQUAH CREEK TO SOUTH LINE OF SAID SECTION 28;  
THENCE EAST ALONG SAID SOUTH LINE TO POINT OF BEGINNING;

EXCEPT THE SOUTH 30 FEET THEREOF CONDEMNED IN KING COUNTY SUPERIOR COURT CAUSE NUMBER 115832, FOR HIGHWAY PURPOSES.

## LAND SURVEYOR'S CERTIFICATE

LAND SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY MAP AND PLANS FOR "CLARK'S CREEK BEND TOWNHOMES CONDOMINIUM" ARE BASED UPON AN ACTUAL SURVEY OF THE PROPERTY DESCRIBED HEREIN AND THAT THE COURSES AND DISTANCES ARE SHOWN ACCURATELY THEREON AND THAT THESE PLANS ACCURATELY DEPICT THE LOCATION AND DIMENSIONS OF THE UNITS AS SUBSTANTIALLY COMPLETE. THESE PLANS ARE PER THE BASIC REQUIREMENTS PURSUANT TO RCW 64.34.232.

Earl J. Bone  
EARL J. BONE  
REGISTERED LAND SURVEYOR  
CERTIFICATE NO. 19429  
DATE 6/25/93



## LAND SURVEYOR'S VERIFICATION

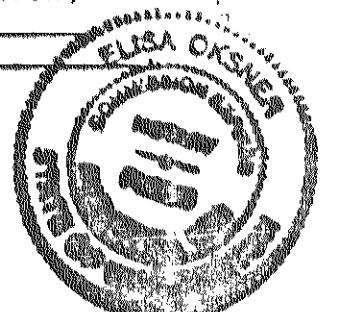
STATE OF WASHINGTON )  
                                  ) SS  
COUNTY OF KING )

EARL J. BONE, BEING FIRST ON OATH DULY SWORN, STATES THAT HE IS THE REGISTERED LAND SURVEYOR SIGNING THE ABOVE CERTIFICATE, THAT HE HAS EXAMINED THE SURVEY MAP AND BELIEVES THE CERTIFICATE TO BE A TRUE STATEMENT.

Earl J. Bone  
EARL J. BONE  
REGISTERED LAND SURVEYOR  
CERTIFICATE NO. 19429  
DATE 6/25/93

SUBSCRIBED AND SWORN TO BEFORE ME THIS 25<sup>th</sup> DAY OF June, 1993.

Elisa Oshier  
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON,  
RESIDING AT Seattle  
MY COMMISSION EXPIRES August 29, 1996



## APPROVAL

EXAMINED AND APPROVED THIS 1st DAY OF July, 1993.

SCOTT NOBLE

Ol. Math

# CLARK'S CREEK BEND TOWNHOMES CONDOMINIUM

## CITY OF ISSAQUAH, KING COUNTY, WASHINGTON

PORTION SE 1/4, SE 1/4, SEC. 28, TWN. 24N, RANGE 6 E, W.M.

A.F. NO. 3226070

ISSAQUAH CREEK

N 87° 50' 37" W

EX. FENCE WANDERS ALONG LINE

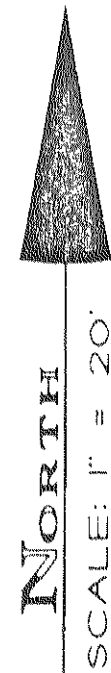
CE  
TOP OF BANK

THE BOUNDARY OF THIS SITE AS SHOWN HERE IS AS PER THE RECORD OF SURVEY PERFORMED BY EASTSIDE CONSULTANTS, INC., DATED 1/90, AND FILED FOR PUBLIC RECORD UNDER AUDITORS FILE NUMBER 9004179009 AND IN BOOK 72 OF SURVEYS, AT PAGE 120, RECORDS OF KING COUNTY, WA. FOR ADDITIONAL DETAILS OF THE BOUNDARY LOCATION REFER TO SAID RECORD OF SURVEY.

ALL LAND IS SUBJECT TO DEVELOPMENT RIGHTS SET FORTH IN THE DECLARATION.

THE PROPERTY BOUNDARY AS SHOWN ON THE RECORD OF SURVEY AS REFERENCED ABOVE, AND AS SHOWN HERE, INDICATES OWNERSHIP OF THE CREEKBED TO THE CENTERLINE OF THE CREEK. HOWEVER, IF THE CREEK IS AT SOME TIME DETERMINED TO BE "NAVIGABLE", THEN THE CONDO SITE WILL OWN ONLY TO THE TOP OF BANK, AND THE STATE OF WASHINGTON SHALL OWN THE BED OF THE CREEK.

BASIS OF BEARINGS: NAD83, PER RECORD OF SURVEY VOL. 72, PAGE 120.



BONE ENGINEERING AND SURVEYING  
10800 Roosevelt Wy. N.E., Apt. 105  
Seattle, Washington 98125  
(206) 365-7096 Job Number 92.187

S. 1/4 COR.

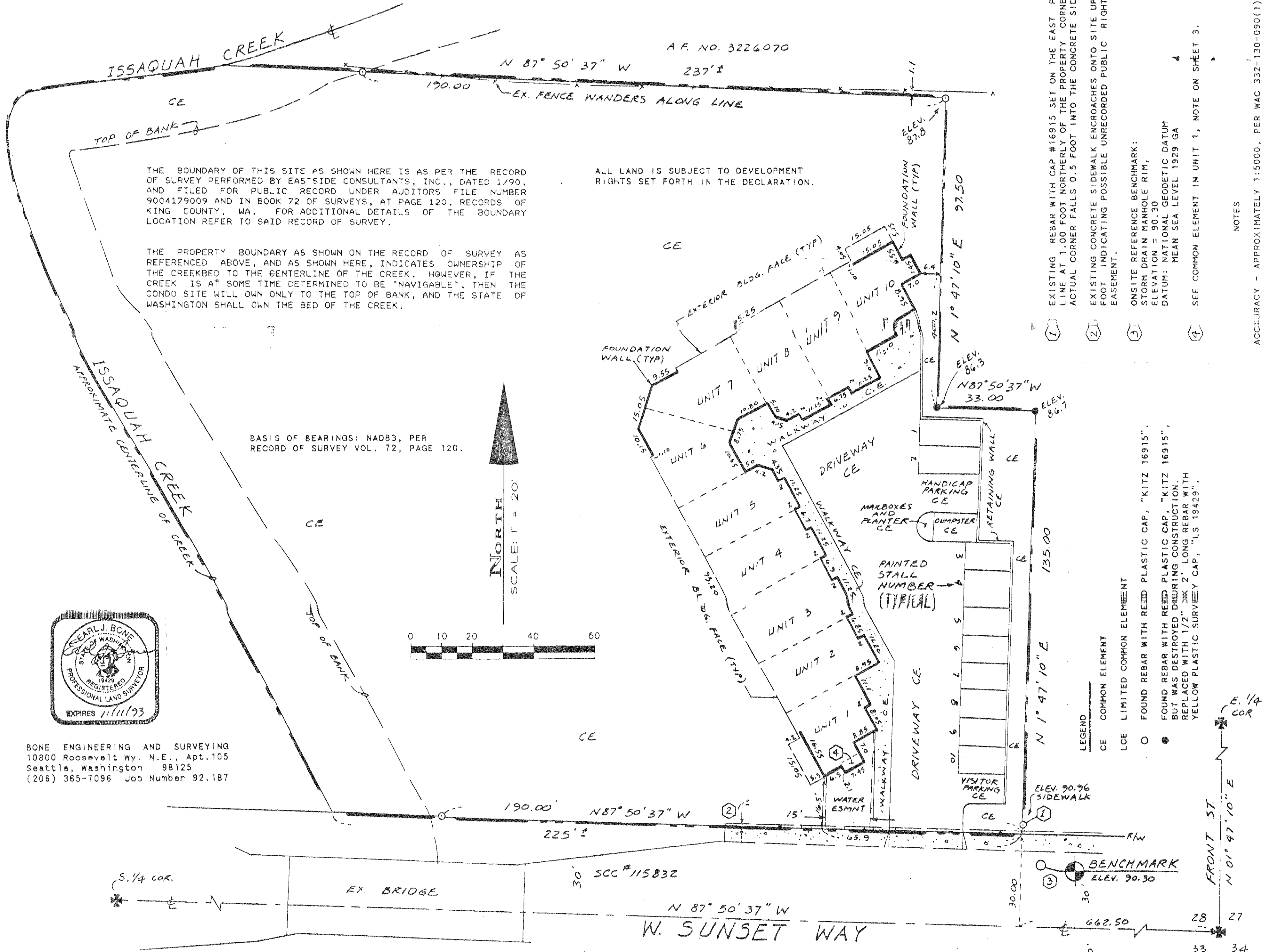
EX. BRIDGE

30 SCC #115832

N 87° 50' 37" W  
W. SUNSET WAY

BENCHMARK  
ELEV. 90.30

FRONT ST.  
N 01° 47' 10" E



EXISTING REBAR WITH CAP #16915 SET ON THE EAST PROPERTY LINE AT 1.00 FOOT NORTHERLY OF THE PROPERTY CORNER. THE ACTUAL CORNER FALLS 0.5 FOOT INTO THE CONCRETE SIDEWALK.

EXISTING CONCRETE SIDEWALK ENCLOSES ONTO SITE UP TO 1.0 FOOT INDICATING POSSIBLE UNRECORDED PUBLIC RIGHT-OF-WAY EASEMENT.

ONSITE REFERENCE BENCHMARK:  
STORM DRAIN MANHOLE RIM,  
ELEVATION = 90.30  
DATUM: NATIONAL GEODETIC DATUM  
MEAN SEA LEVEL 1929 GA

SEE COMMON ELEMENT IN UNIT 1, NOTE ON SHEET 3.

- LEGEND
- CE COMMON ELEMENT
  - LCE LIMITED COMMON ELEMENT
  - FOUND REBAR WITH REBAR PLASTIC CAP, "KITZ 16915".
  - FOUND REBAR WITH REBAR PLASTIC CAP, "KITZ 16915", BUT WAS DESTROYED DURING CONSTRUCTION. REPLACED WITH 1/2" x 2' LONG REBAR WITH YELLOW PLASTIC SURVEY CAP, "LS 19429".

NOTES

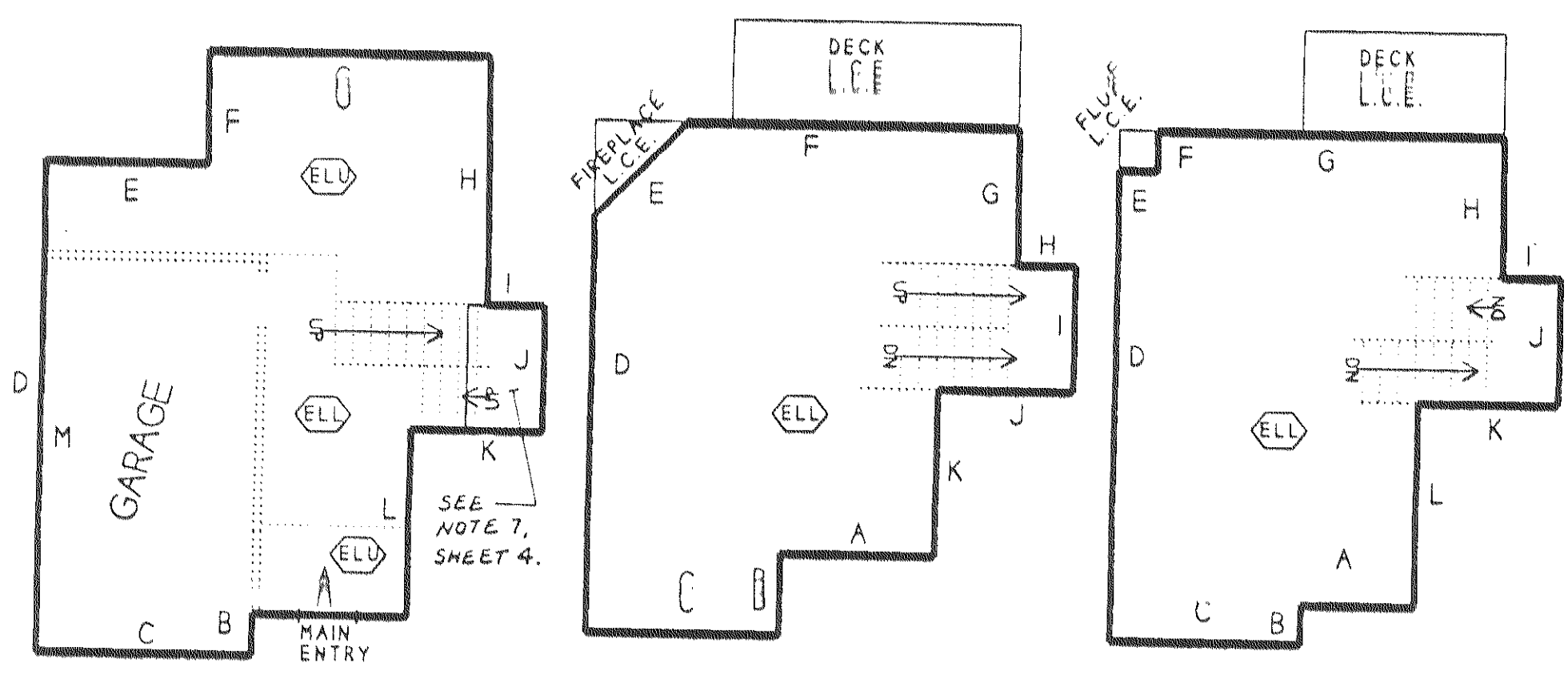
ACCURACY - APPROXIMATELY 1:5000, PER WAC 332-130-090(1)(b) & 332-130-090(2)(b).

FIELD BOOK #24, 25, 26.

# CLARK'S CREEK BEND TOWNHOMES CONDOMINIUM

CITY OF ISSAQUAH, KING COUNTY, WASHINGTON  
PORTION SE 1/4, SE 1/4, SEC. 28, TWN. 24N, RANGE 6 E, W.M.

## UNIT 1 (FLOOR PLAN "REVERSED") UNIT 10



1ST FLOOR
2ND FLOOR
3RD FLOOR

SCALE: 1" = 8'

**LEGEND**

CE COMMON ELEMENT

LCE LIMITED COMMON ELEMENT

ELU THE UPPER LEVEL ELEVATIONS OF THE SPLIT-LEVEL.

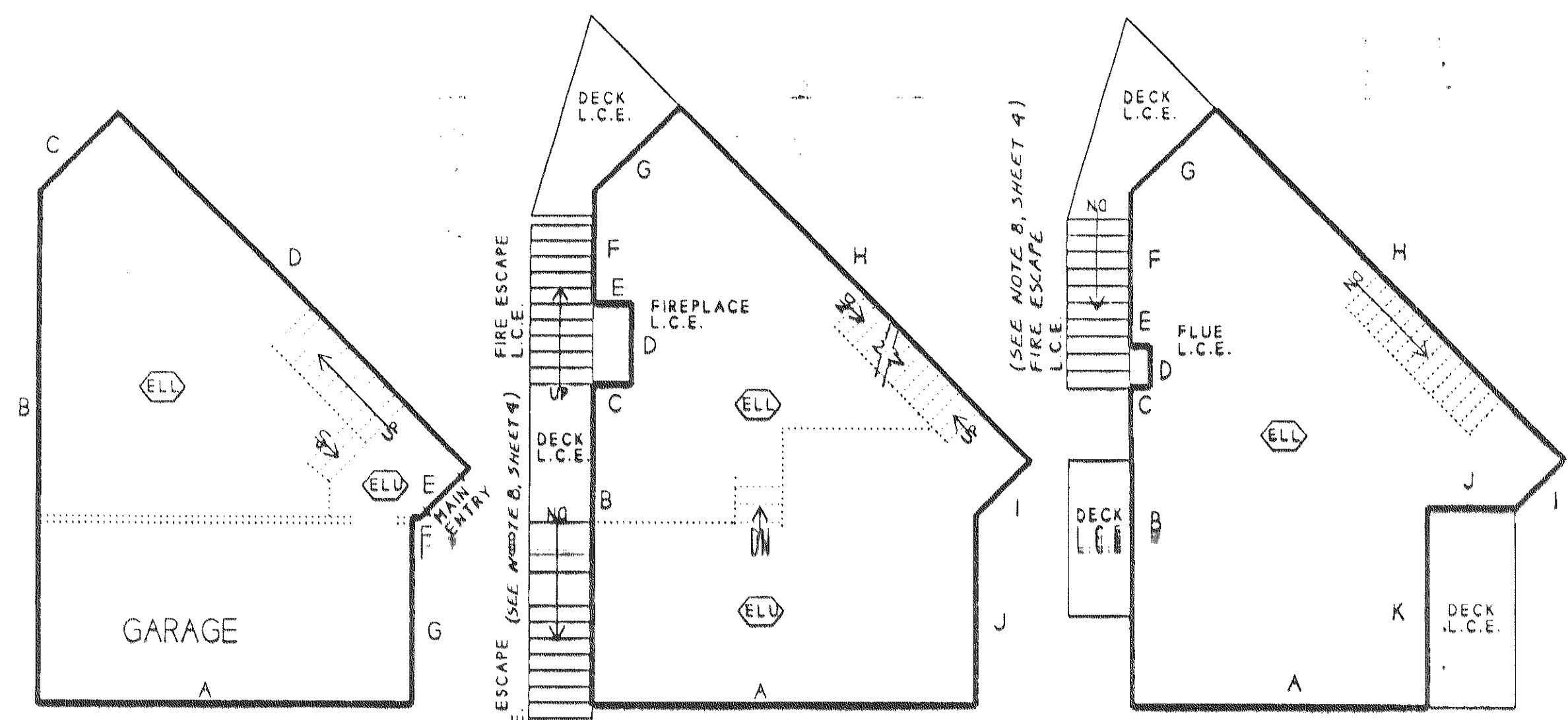
ELL THE LOWER LEVEL ELEVATIONS OF THE SPLIT-LEVEL OR THE BASIC ELEVATIONS IF NO SPLIT LEVEL EXISTS.

SEE NOTES ON SHEET 4 OF 4

UNIT	6			7			
	FLOOR	1st	2nd	3rd	1st	2nd	3rd
UNIT DIMENSIONS	A	23.70	24.00	19.05	23.55	24.00	19.05
	B	30.40	18.45	17.50	30.50	18.30	17.60
	C	7.35	2.70	1.25	7.40	2.40	1.20
	D	31.0	5.10	2.50	31.00	5.10	2.40
	E	4.20	2.70	1.25	4.20	2.40	1.20
	F	0.50	7.10	10.70	0.50	7.10	10.70
	G	10.90	7.40	7.30	10.90	7.40	7.50
	H		31.00	31.10		31.00	31.05
	I		4.50	4.15		4.35	3.85
	J		10.65	5.20		10.75	5.30
	K			10.90			11.10
ELEVATIONS	FLOOR	89.95	98.90	109.55	90.00	98.90	109.55
	CEILING	97.85	108.65	117.45	97.85	108.65	117.45
	FLOOR	92.00	100.75		92.00	100.75	
	CEILING	99.25	108.65		99.20	108.65	
	FLOOR	91.95			92.00		
	CEILING	99.75			99.80		
AREA SQ FT	BY FLOOR	428	665	626	429	665	623
	GARAGE	245			243		
	TOTAL		1964		1960		

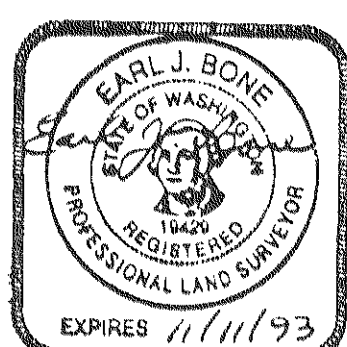
UNIT	1			10			
	FLOOR	1st	2nd	3rd	1st	2nd	3rd
UNIT DIMENSIONS	A	8.05	8.10	8.10	8.05	8.00	8.00
	B	1.60	2.10	2.05	1.60	2.05	2.00
	C	10.10	10.10	10.05	10.15	10.10	10.10
	D	24.50	20.30	23.05	24.55	20.35	23.10
	E	8.10	6.60	2.30	8.10	6.60	1.85
	F	4.10	17.50	1.90	3.95	17.45	1.90
	G	14.15	7.55	19.95	14.15	7.55	20.30
	H	11.60	3.20	7.50	11.35	3.20	7.65
	I	3.00	6.45	3.15	3.00	6.40	3.15
	J	6.45	7.15	6.45	6.35	7.20	6.40
	K	7.15	8.95	7.25	7.05	9.05	7.20
	L	8.95		8.95	9.20		9.00
	M	19.10			19.00		
ELEVATIONS	FLOOR	92.05	100.80	109.55	92.00	100.75	109.50
	CEILING	99.05	108.65	117.40	99.10	108.60	117.35
	FLOOR	92.05			92.00		
	CEILING	99.90			99.80		
	FLOOR	92.05			92.00		
	CEILING	99.85			99.80		
AREA SQ FT	BY FLOOR	373	504	509	371	504	510
	GARAGE	191			193		
	TOTAL		1577		1578		

## UNIT 6 UNIT 7 (FLOOR PLAN "REVERSED")



1ST FLOOR
2ND FLOOR
3RD FLOOR

SCALE: 1" = 8'



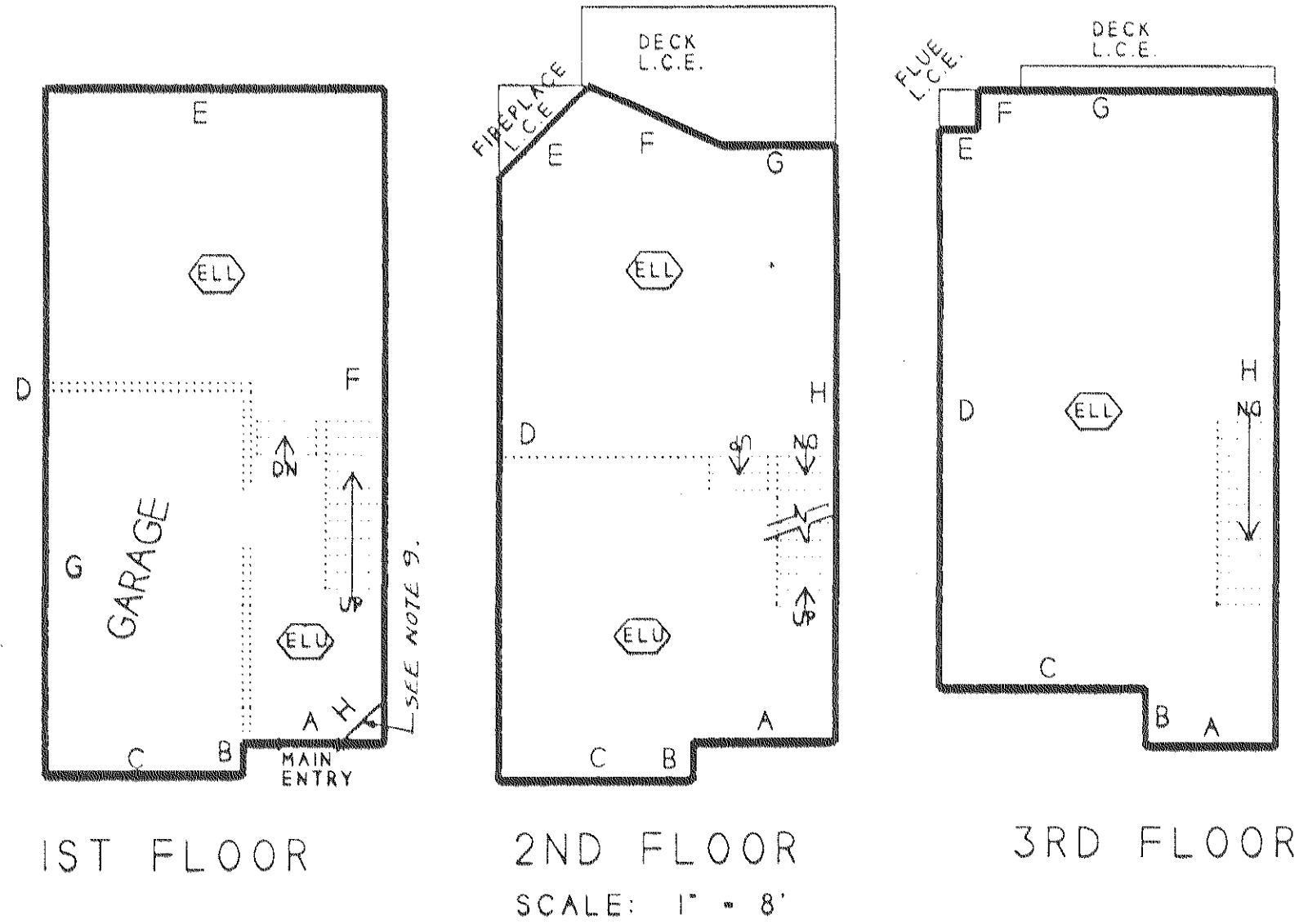
# CLARK'S CREEK BEND TOWNHOMES CONDOMINIUM

CITY OF ISSAQUAH, KING COUNTY, WASHINGTON  
PORTION SE 1/4, SE 1/4, SEC. 28, TWN. 24N, RANGE 6 E, W.M.

UNITS 2, 3, 4, 5  
UNITS 8, 9 (FLOOR PLAN "REVERSED")

**LEGEND**

- CE COMMON ELEMENT
- LCE LIMITED COMMON ELEMENT
- ELU THE UPPER LEVEL ELEVATIONS OF THE SPLIT-LEVEL.
- ELL THE LOWER LEVEL ELEVATIONS OF THE SPLIT-LEVEL OR THE BASIC ELEVATIONS IF NO SPLIT LEVEL EXISTS.



**NOTES:**

1. ALL UNIT DIMENSIONS AND ELEVATIONS ARE AS MEASURED TO THE NEAREST 0.05 FEET.
2. ALL UNIT DIMENSIONS ARE TO THE INTERIOR FACE OF THE SHEET-ROCK/PAINT. WHERE UTILITY PIPES, HEATING DUCTS, ETC., HAVE BEEN ENCLOSED IN SHEET-ROCK, THE ENCLOSURE IS CONSIDERED HERE AS A SIMPLE INTERIOR WALL SO THE DIMENSION RUNS THROUGH THE ENCLOSURE TO THE POINT OF INTERSECTION OF THE WALL FACES RUNNING INTO SAID ENCLOSURE.
3. ALL FLOOR ELEVATIONS ARE TO THE TOP OF WOODEN SUBFLOOR IMMEDIATELY BELOW THE CARPET, LINOLEUM, OR HARDWOOD FINISHED FLOOR SURFACES. ELEVATIONS ARE PLUS OR MINUS 0.05 FEET.
4. ALL CEILING ELEVATIONS ARE TO THE UNDERSIDE OF THE FINISHED SHEET-ROCK CEILING.
5. THE SEPARATION WALL BETWEEN THE GARAGE AND THE LIVING AREA IS INCLUDED IN THE LIVING AREA SQUARE FOOTAGE. THE TYPICAL THICKNESS OF SAID WALL IS 0.56 FEET.
6. ALL LCE'S, I.E. DECKS, FIREPLACES AND FLUES, ETC., ARE NOT INCLUDED IN THE SQUARE FOOTAGE OF THE UNITS.
7. IN UNIT 1, UNDER THE STAIRWELL UP FROM THE 1ST FLOOR TO THE 2ND, IS A WATERMAIN AND VALVE FOR PART OF THE BUILDING'S WATER SYSTEM. THE PIPES AND VALVE OCCUPY A SPACE OF APPROXIMATELY 4 FEET BY 6.45 FEET JUST BENEATH THE STAIRWAY LANDING. THIS SPACE IS A "COMMON ELEMENT" AND THERE IS A DOOR/ENTRY TO IT ON THE "OUTSIDE OF THE BUILDING. THE SQUARE FOOTAGE OF THE 1ST FLOOR OF UNIT 1 INCLUDES THIS AREA SINCE IT IS UNDER THE STAIRWAY.
8. THE LCE FIRE ESCAPES FOR UNITS 6 & 7 RUN DOWN FROM A DECK ON THE 3RD FLOOR, ELEVATION 109.55, TO A DECK ON THE 2ND FLOOR, ELEVATION 98.9, THEN FROM THE 2ND FLOOR DECK TO THE GROUND AT APPROX. ELEVATION 84.2.
9. DIMENSION "H" APPLIES ONLY TO UNITS 5 AND 8 IN WHICH THE BUILDING AND UNIT CORNER IS CUT AT 45 DEGREES.

UNIT		2			3			4			5			8			9			
		1st	2nd	3rd	1st	2nd	3rd	1st	2nd	3rd	1st	2nd	3rd	1st	2nd	3rd	1st	2nd	3rd	
UNIT DIMENSION	A	7.25	7.30	6.60	7.20	7.25	6.55	7.23	7.25	6.60	4.65	7.25	6.45	4.50	7.20	6.55	7.15	7.15	6.65	
	B	1.65	2.00	2.95	1.65	2.00	3.05	1.60	2.00	2.95	1.65	2.05	2.90	1.55	2.05	3.00	1.60	1.95	3.05	
	C	10.10	9.95	10.80	10.10	10.05	10.70	10.10	10.15	10.80	10.00	10.00	10.70	10.15	10.25	10.75	10.20	10.15	10.65	
	D	35.50	29.35	27.10	33.50	29.30	27.10	33.45	29.30	27.10	33.45	29.40	27.05	33.45	29.35	27.10	33.45	29.35	27.15	
	E	17.30	6.55	2.35	17.35	6.50	2.35	17.30	6.55	2.35	17.25	6.55	2.35	17.30	7.00	2.35	17.30	6.85	2.30	
	F	31.85	7.50	1.95	31.85	7.45	1.95	31.85	7.60	1.95	29.25	7.50	1.90	29.25	7.05	1.90	31.81	6.80	1.90	
	G	17.95	5.75	15.00	17.95	5.80	14.90	17.90	5.80	15.00	17.95	5.80	15.00	17.95	6.20	15.00	17.90	6.40	15.05	
	H		28.95	32.00		29.00	32.05		28.90	32.00	3.65	28.85	31.85	3.75	29.05	32.10		29.10	32.10	
ELEVATIONS	FLOOR	ELL	90.15	98.90	109.50	90.15	98.90	109.50	90.10	98.80	109.55	90.15	98.85	109.50	90.15	98.85	109.50	90.10	98.85	109.45
		ELU	98.00	108.60	117.35	98.00	108.60	117.35	98.00	108.50	117.40	98.05	108.55	117.35	98.05	108.55	117.35	98.00	108.55	117.30
	CEILING	ELL	92.00	100.75		92.00	100.75		91.95	100.70		92.00	100.75		92.00	100.75		91.95	100.70	
		ELU	99.80	108.55		99.80	108.60		99.80	108.60		99.90	108.60		99.80	108.60		99.80	108.55	
GARAGE	FLOOR	92.00			91.95			91.95			92.00			92.00			91.95			
	CEILING	99.80			99.75			99.80			99.85			99.80			99.80			
AREA SQ F	BY FLOOR	387	533	519	387	533	515	386	535	519	382	522	517	383	536	518	385	536	519	
	GARAGE	181			182			181			181			182			182			
	TOTAL	1620			1617			1621			1601			1619			1622			

