

# COHO RUN

## A CONDOMINIUM - PHASE I

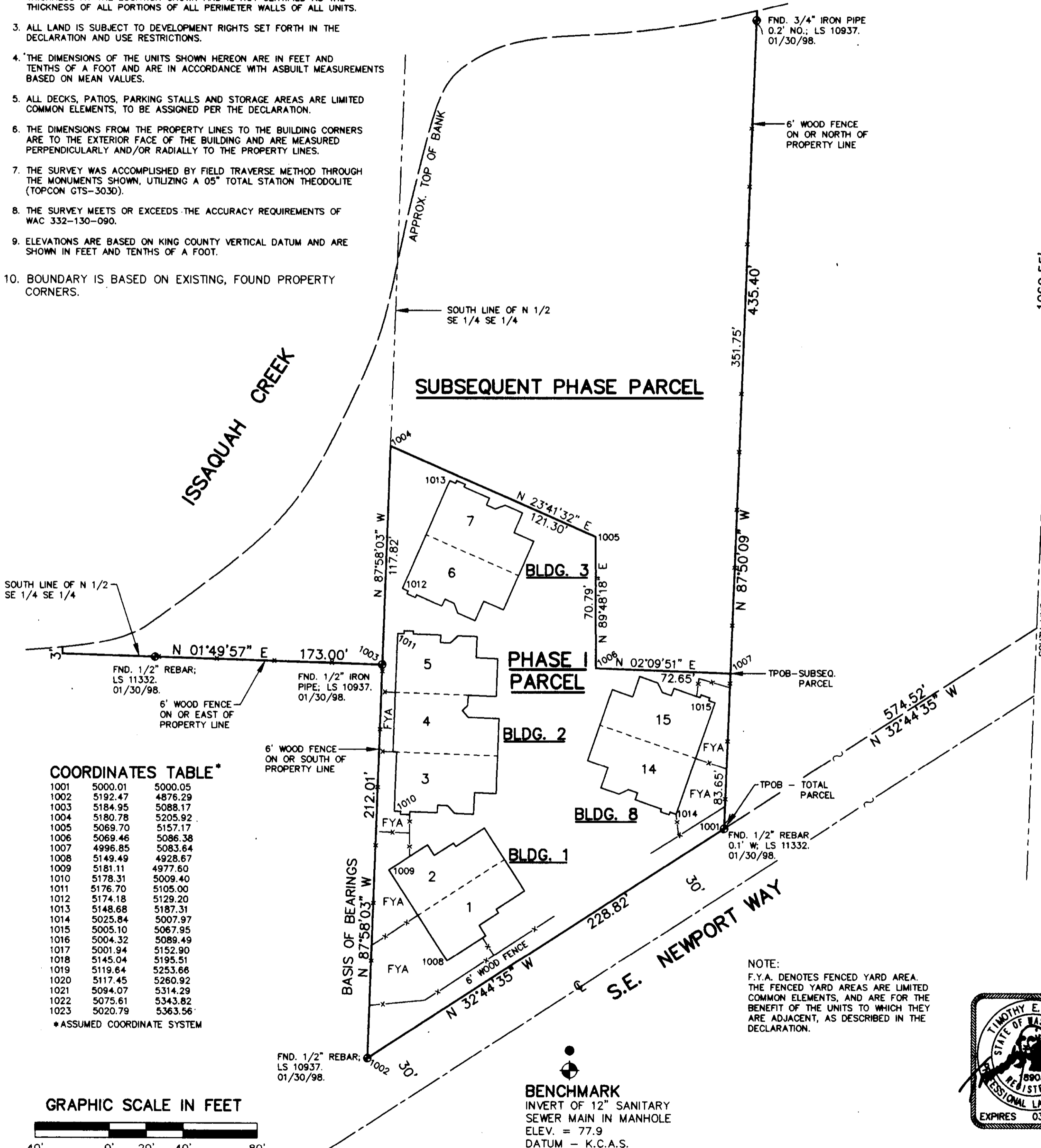
SECTION 28, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M.  
CITY OF ISSAQUAH COUNTY OF KING STATE OF WASHINGTON

**NOTES**

1. THE UNITS SHOWN HEREON ARE LIMITED TO THE AREA ENCLOSED BY THE WALLS, CEILINGS AND FLOORS, EXCEPT THOSE PORTIONS WHICH INCLUDE LATH, FURRING, WALLBOARD, PLASTERBOARD, PLASTER, PANELING, TILES, WALLPAPER, PAINT, FINISHED FLOORING, AND ANY OTHER MATERIALS CONSTITUTING ANY PART OF THE FINISHED SURFACES THEREOF.
2. THE APPROXIMATE THICKNESS OF CERTAIN PERIMETER WALLS OF CERTAIN UNITS AS SHOWN ON THE PLANS IS ONLY ILLUSTRATIVE OF THE WALL THICKNESS AT THE LOCATION SHOWN AND IS NOT CERTIFIED AS THE THICKNESS OF ALL PORTIONS OF ALL PERIMETER WALLS OF ALL UNITS.
3. ALL LAND IS SUBJECT TO DEVELOPMENT RIGHTS SET FORTH IN THE DECLARATION AND USE RESTRICTIONS.
4. THE DIMENSIONS OF THE UNITS SHOWN HEREON ARE IN FEET AND TENTHS OF A FOOT AND ARE IN ACCORDANCE WITH ASBUILT MEASUREMENTS BASED ON MEAN VALUES.
5. ALL DECKS, PATIOS, PARKING STALLS AND STORAGE AREAS ARE LIMITED COMMON ELEMENTS, TO BE ASSIGNED PER THE DECLARATION.
6. THE DIMENSIONS FROM THE PROPERTY LINES TO THE BUILDING CORNERS ARE TO THE EXTERIOR FACE OF THE BUILDING AND ARE MEASURED PERPENDICULARLY AND/OR RADIALLY TO THE PROPERTY LINES.
7. THE SURVEY WAS ACCOMPLISHED BY FIELD TRAVERSE METHOD THROUGH THE MONUMENTS SHOWN, UTILIZING A 05" TOTAL STATION THEODOLITE (TOPCON GTS-3030).
8. THE SURVEY MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS OF WAC 332-130-090.
9. ELEVATIONS ARE BASED ON KING COUNTY VERTICAL DATUM AND ARE SHOWN IN FEET AND TENTHS OF A FOOT.
10. BOUNDARY IS BASED ON EXISTING, FOUND PROPERTY CORNERS.



SE CORNER  
SEC. 28-24-6

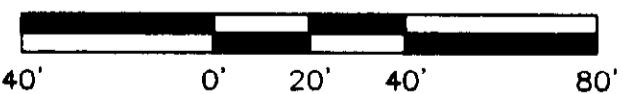


**COORDINATES TABLE\***

1001	5000.01	5000.05
1002	5192.47	4876.29
1003	5184.95	5088.17
1004	5180.78	5205.92
1005	5069.70	5157.17
1006	5069.46	5086.38
1007	4996.85	5083.64
1008	5149.49	4928.67
1009	5181.11	4977.60
1010	5178.31	5009.40
1011	5176.70	5105.00
1012	5174.18	5129.20
1013	5148.68	5187.31
1014	5025.84	5007.97
1015	5005.10	5067.95
1016	5004.32	5089.49
1017	5001.94	5152.90
1018	5145.04	5195.51
1019	5119.64	5253.68
1020	5117.45	5260.92
1021	5094.07	5314.29
1022	5075.61	5343.82
1023	5020.79	5363.56

\* ASSUMED COORDINATE SYSTEM

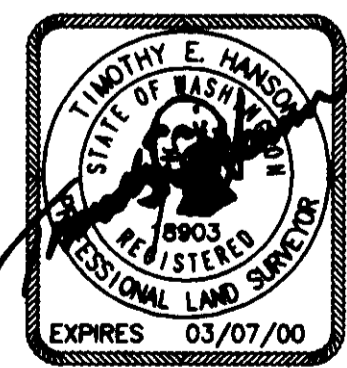
**GRAPHIC SCALE IN FEET**



1" = 40'

**BENCHMARK**  
INVERT OF 12" SANITARY  
SEWER MAIN IN MANHOLE  
ELEV. = 77.9  
DATUM - K.C.A.S.

**NOTE:**  
F.Y.A. DENOTES FENCED YARD AREA.  
THE FENCED YARD AREAS ARE LIMITED  
COMMON ELEMENTS, AND ARE FOR THE  
BENEFIT OF THE UNITS TO WHICH THEY  
ARE ADJACENT, AS DESCRIBED IN THE  
DECLARATION.



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